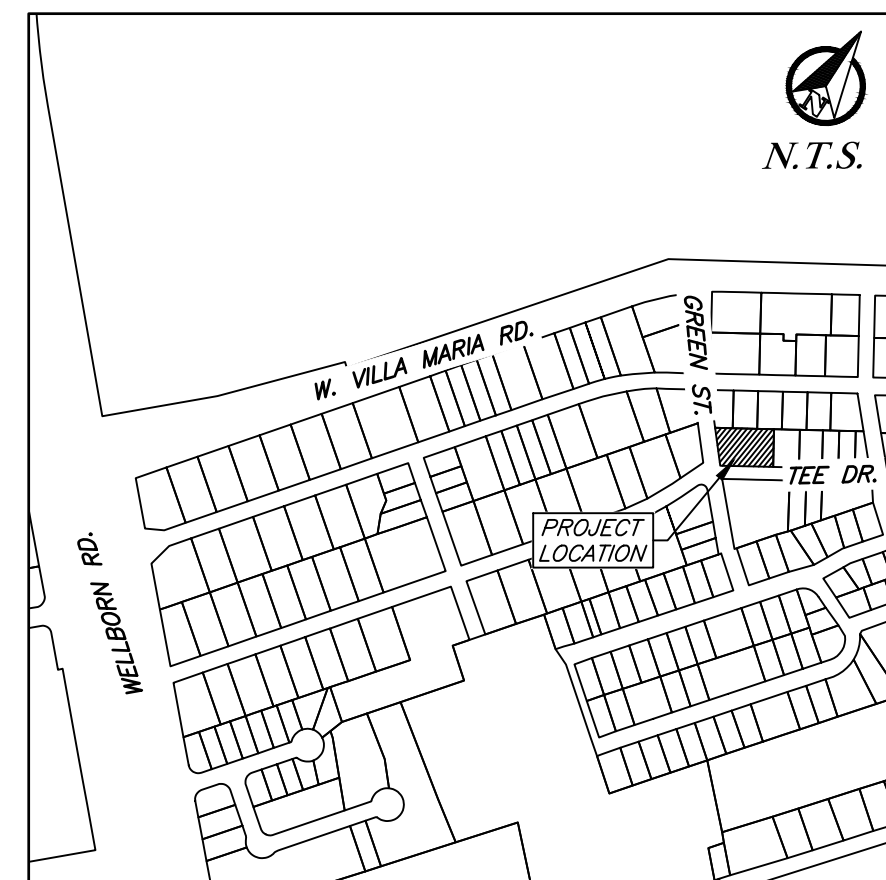


Tee Drive Townhomes

Country Club Estates Addition
Block D, Lots 1R-6R - 0.441 AC
Bryan, Brazos County, Texas



VICINITY PLAN

OWNER/DEVELOPER:

Optimal Housing Five, LLC
2529 Shenandoah Dr.
Bryan, TX 75701

ENGINEER:



Firm # 9951
PO Box 5192
Bryan, Texas 77805
979-739-0567

Sheet List Table	
Sheet Number	Sheet Title
C1	Notes
C2	Site Plan
C3	Pavement, Grading, & Detention Plan
L1	Landscape Plan
ST	BCS Unified Street Details
SW	BCS Unified Sidewalk Details



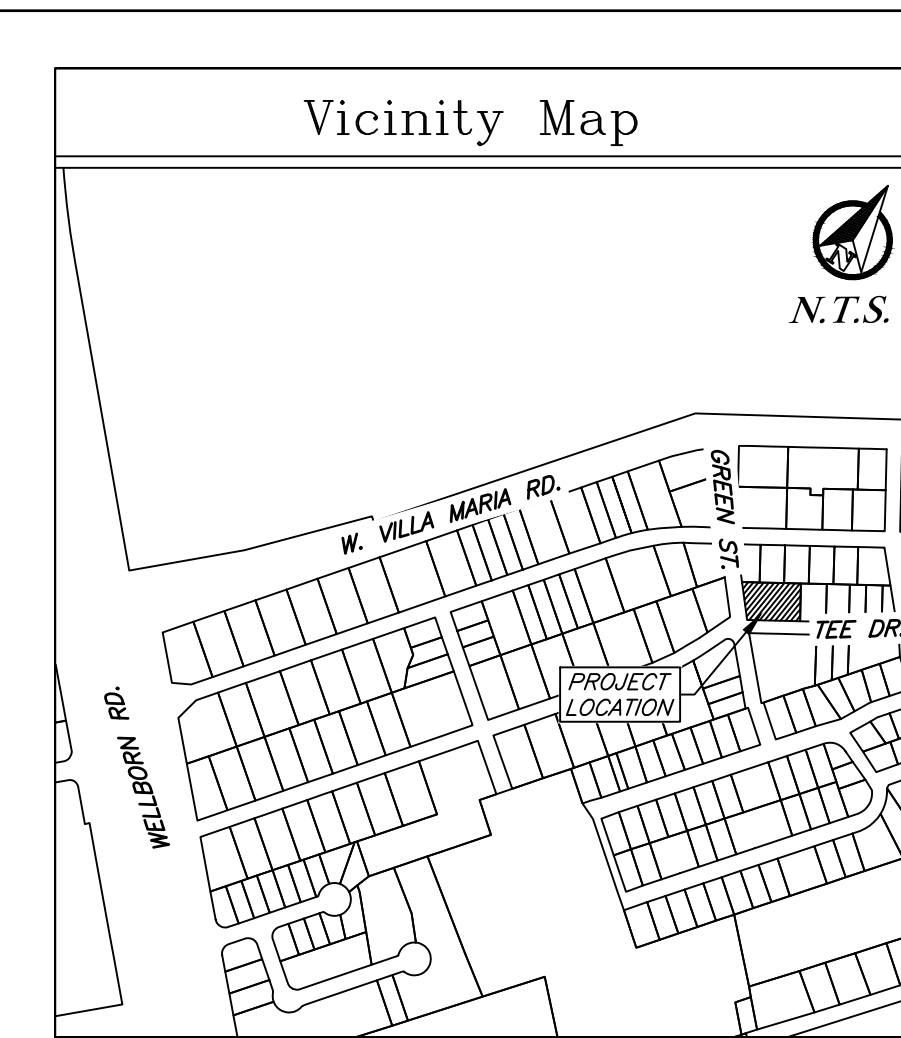
Know what's below.
Call before you dig.

**Preliminary Plans Only
Not for Construction**

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Released for Review

September 2023



- Construction Notes:**
- All proposed sewer cleanouts that are to be placed within a concrete sidewalk shall be set at the same grade as the sidewalk and utilize a flush mount, brass cap, so that there are no tripping hazards.
 - All fill subgrade and base material shall be compacted to 98% STD in areas to be paved and 95% STD in all other areas.
 - All items to be removed during clearing and grubbing. Remove not only the above ground elements, but all underground elements as well. All excavated material shall become the property of the contractor unless otherwise directed by the Owner. All debris must be disposed of off site.
 - Prior to grading operations, contractor is to strip the first 6" of soil. Contractor shall proof roll the entire site and remove any unstable materials according to TxDOT Specifications. Select fill is to be used in replacing objectionable material.
 - Assure positive drainage across project site to the storm water structures.
 - The proposed limestone gravel pavement area shall follow the same detail and specifications as the asphalt parking lot, omitting the prime coat and asphalt-cement wearing surface. Limestone gravel surface shall be rolled smooth to finish grade.
 - Materials and methods for pavement markings shall conform to TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges (current edition), with the following exceptions: 1) Type II marking materials need not be purchased from the Department, and 2) Glass beads may be omitted, but marking material shall be Type II paint-type material.
 - Fire Sprinkler System - potable water supply must be protected by testable double check valve assembly, and install as per City Ordinance.
 - Potable Water Protection - All devices, appliances, and apparatus intended to serve some special function and that connects to the water supply system, shall be provided with protection against backflow and contamination of the water supply system.
 - The Contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of windblown litter from the project site.
 - Demolition/Construction Waste - Site is required to provide containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City to permitted contractor(s) only.
 - Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove, and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on the property adjacent to the PUE to access electric facilities.

- Site Specific Notes:**
- The owner of the property is Optimal Housing Five, LLC. The subject property is Block D, Lot 10-13 Bryan, Brazos County, Texas.
 - The proposed building is a Two-Story Type Vb without fire sprinklers totaling 6,375 SF, FF=334.5' & Height --.
 - The subject property is zoned, Residential 5000 District (RD-5).
 - Fire flow demand is 2250 gpm. The existing hydrants on Green Street and Tee Drive will provide the fire flow for this project.
 - No portion of this tract lies within a designated 100-yr floodplain according to the F.I.R.M. Maps Panel No. 48041C0215F, Revised Date, April 2, 2014.
 - The developed area for this project is 0.405 acres (17,662 SF).
 - Dumpster or solid waste service is proposed for the site.
 - All minimum building setbacks shall be in accordance with City of Bryan Ordinances.

- Utility Notes:**
- Private water line and private sanitary sewer line construction shall be in accordance with the plumbing code. Cleanouts shall be installed per plumbing code.
 - Private water and sewer line service materials to be in accordance with plumbing code.
 - Contractor shall coordinate conduit and/or line installation for telecommunication providers for the site.
 - Depth of the existing water and sewer lines to be verified by the contractor.
 - Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove, and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on the property adjacent to the PUE to access electric facilities.
- Parking Analysis:**
- Proposed Improvements:
6 - 3 Bedroom Townhomes
- New Required Parking:
18 - 1 Space per Bedroom
- Total Proposed Parking
18 - Straight in Parking
5 - Parallel Parking
23 Total Parking

Notes:

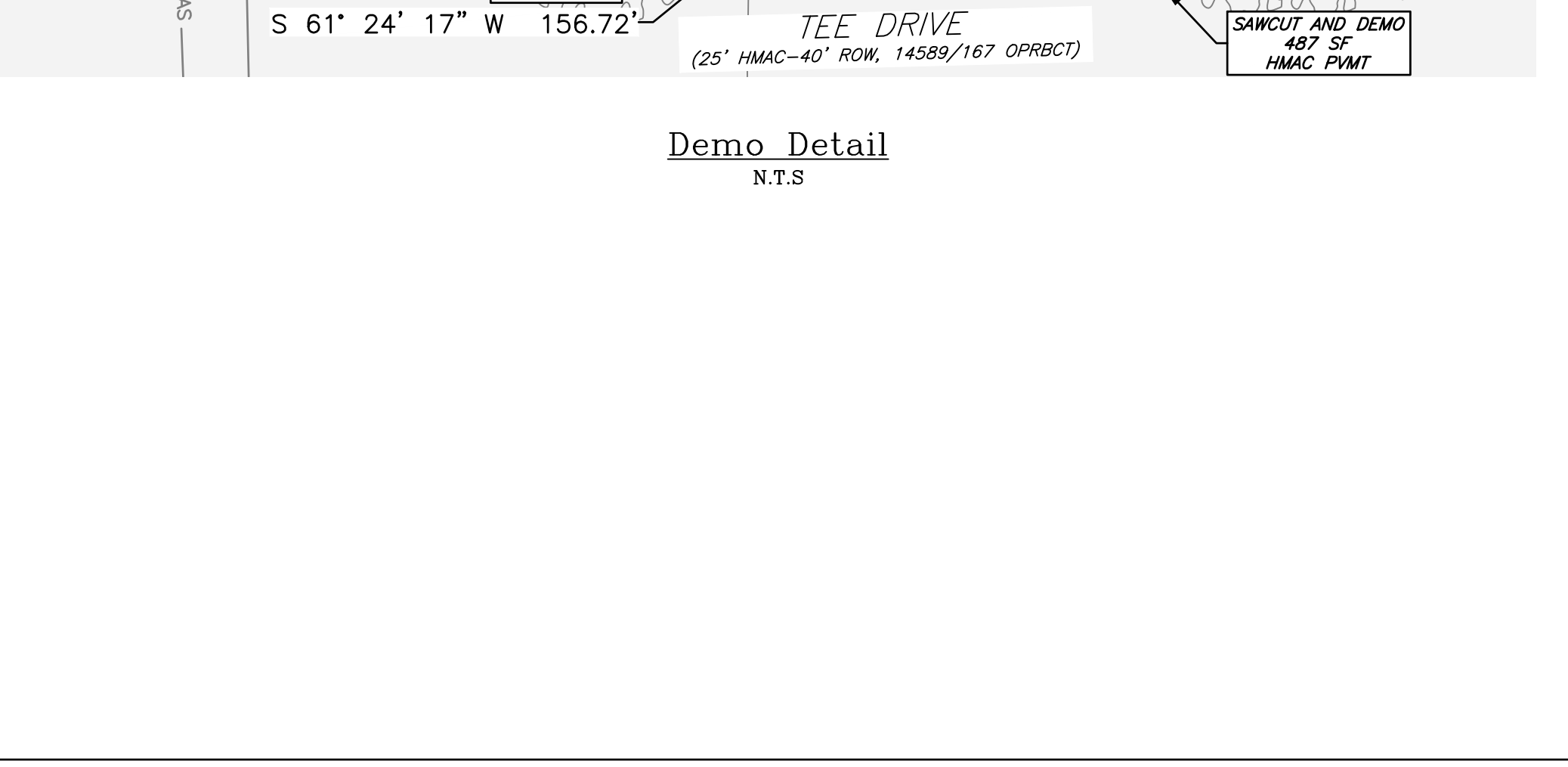
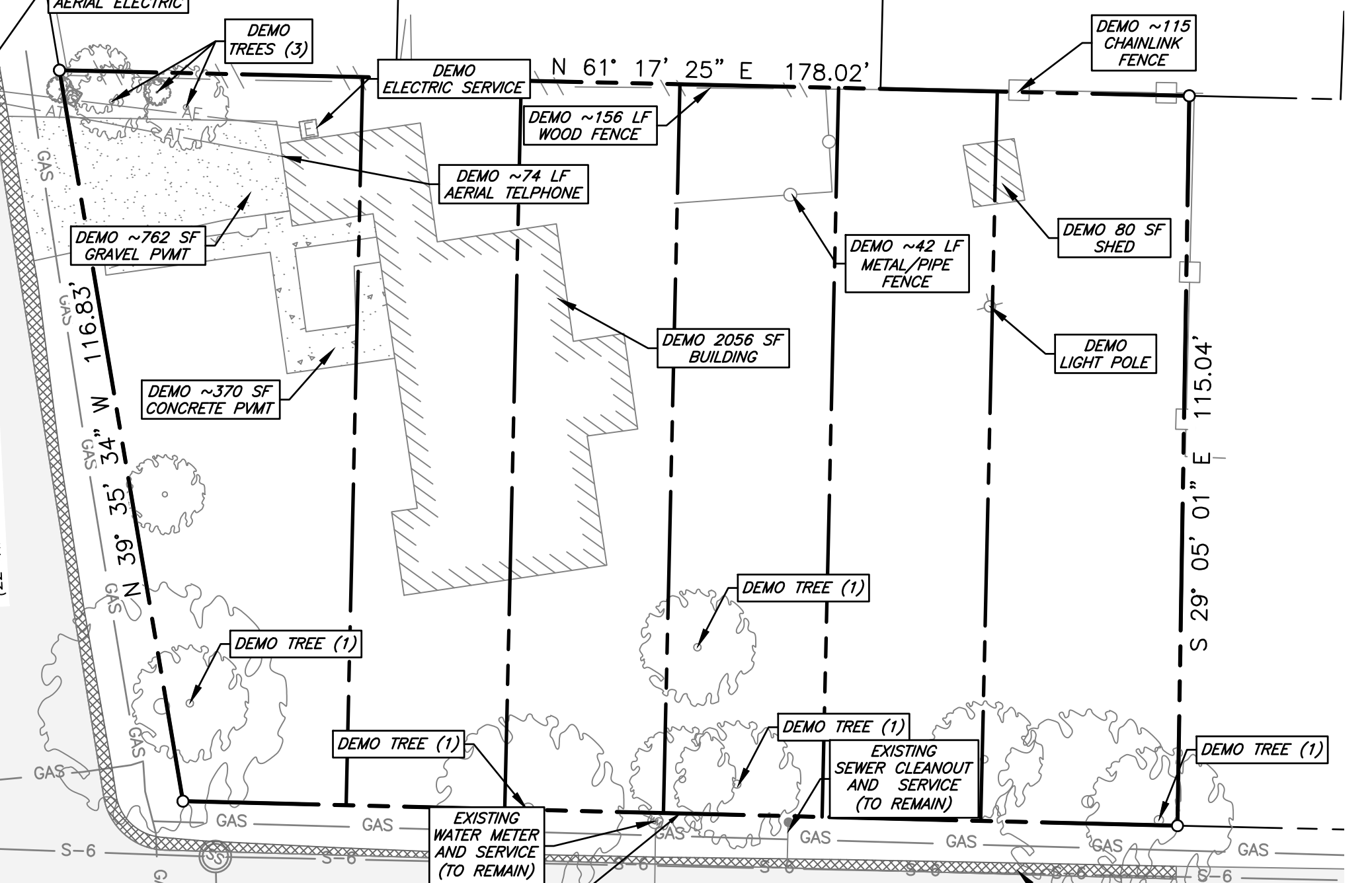
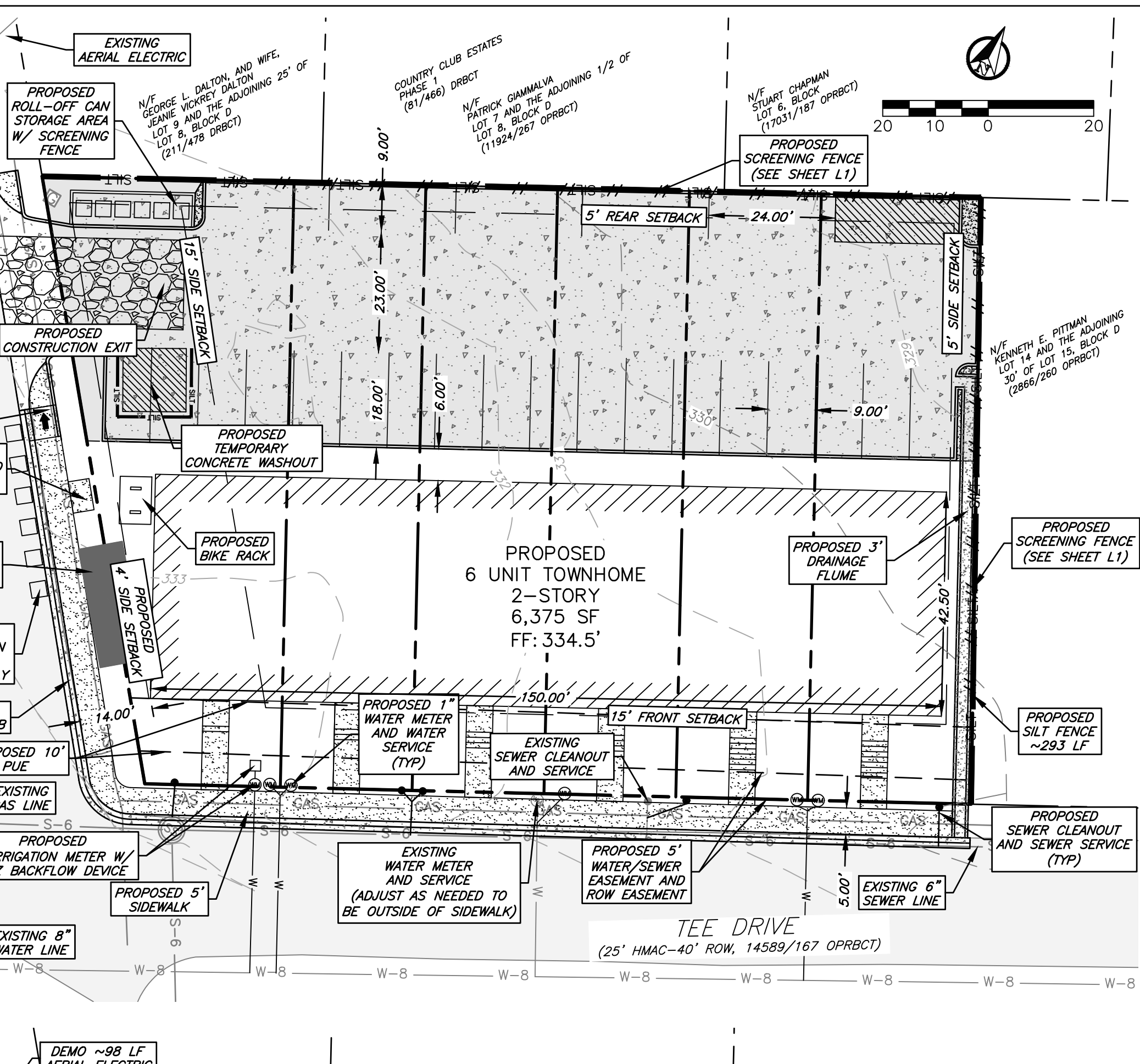
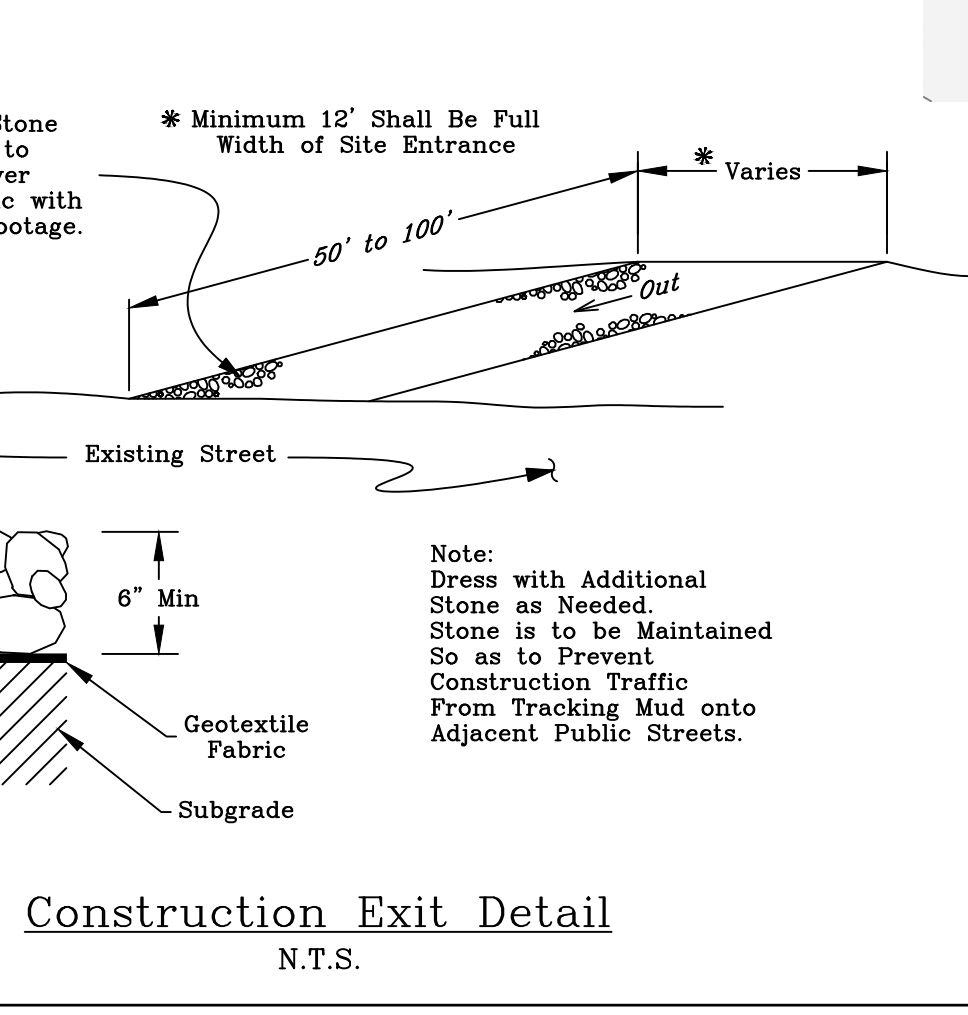
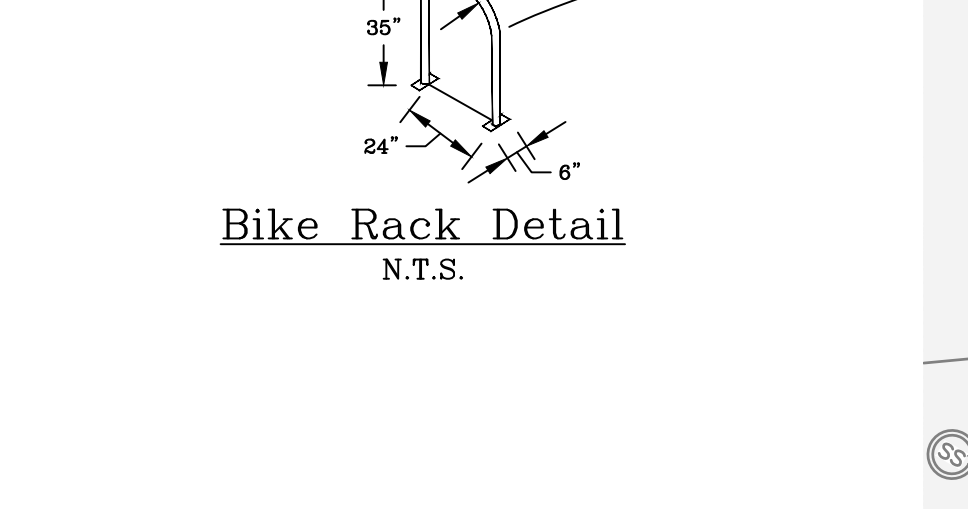
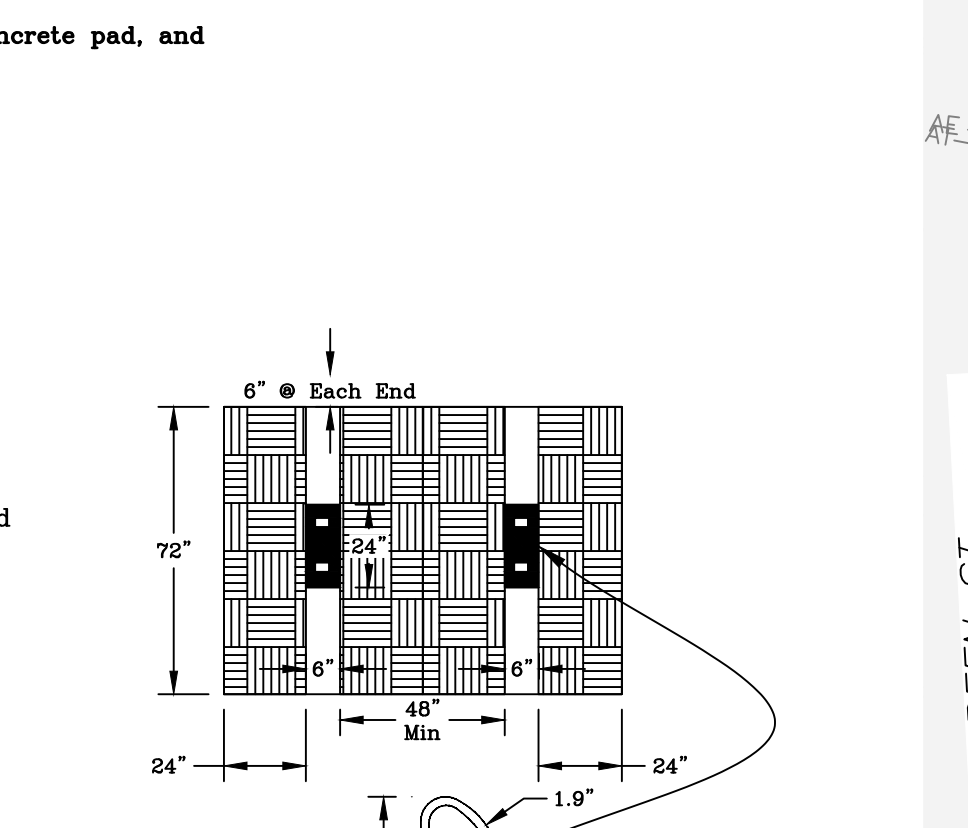
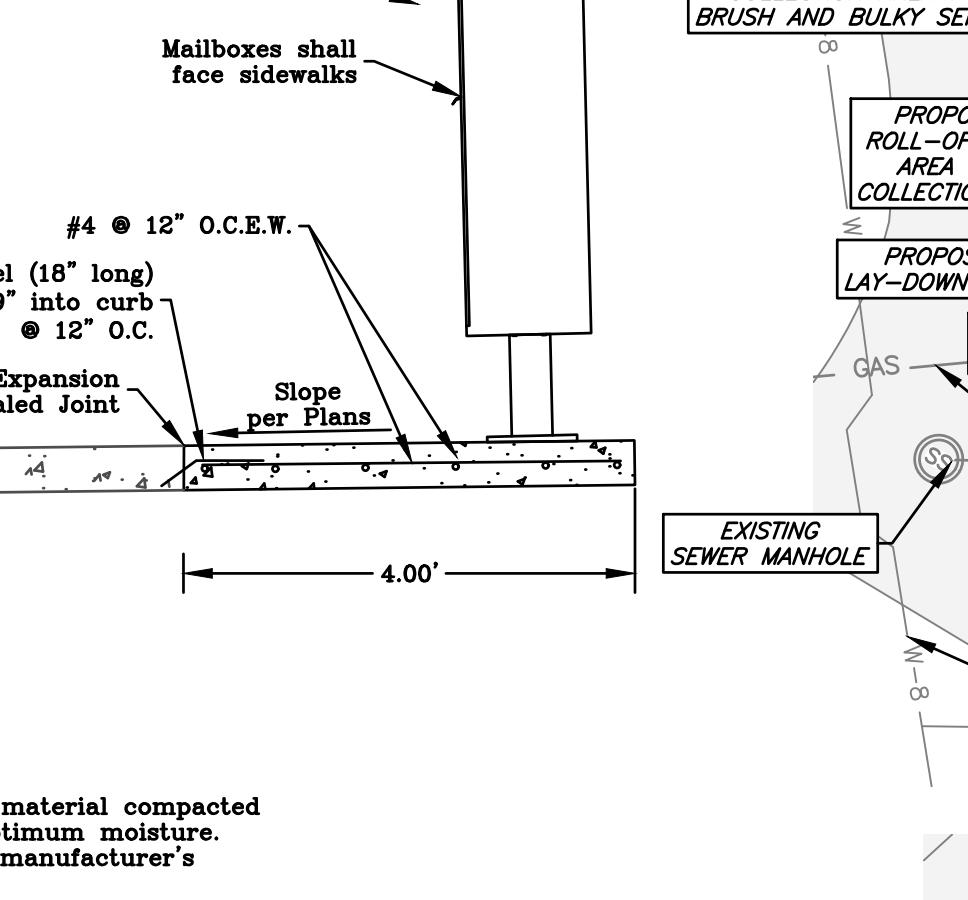
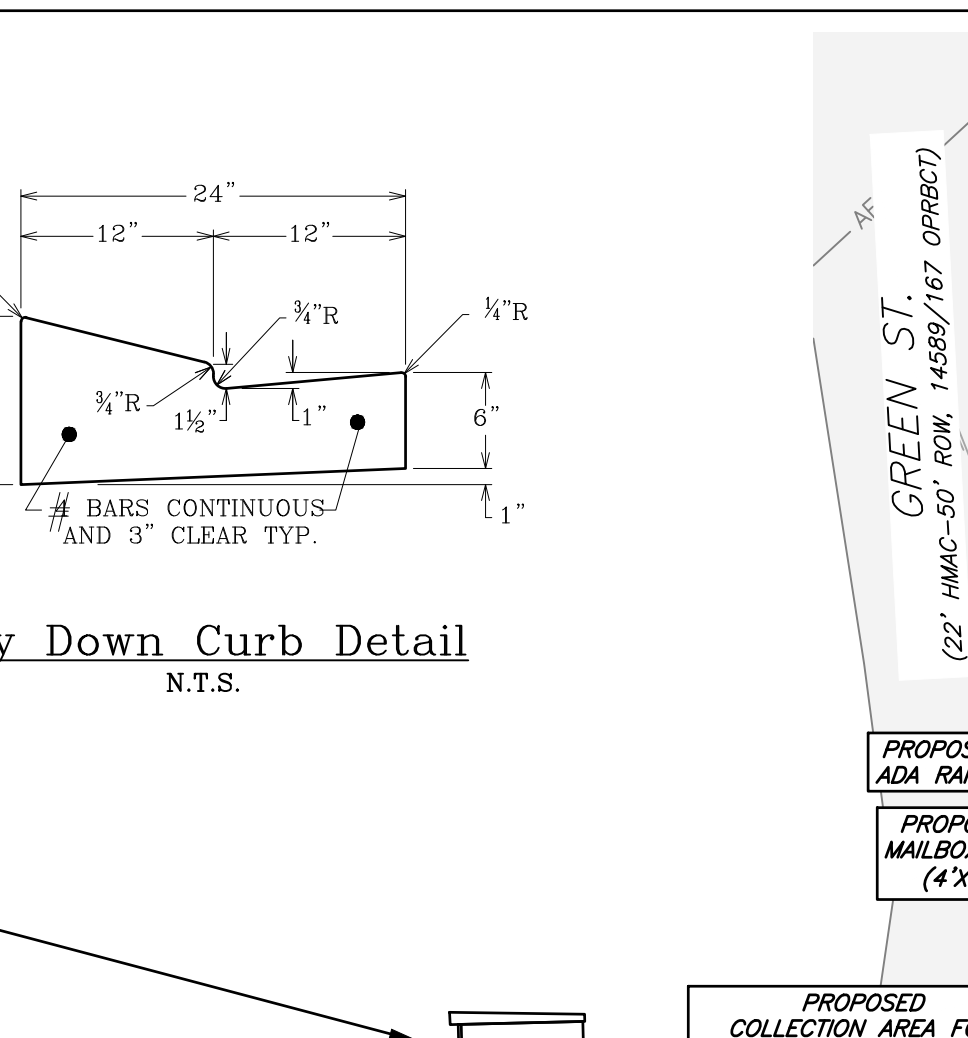
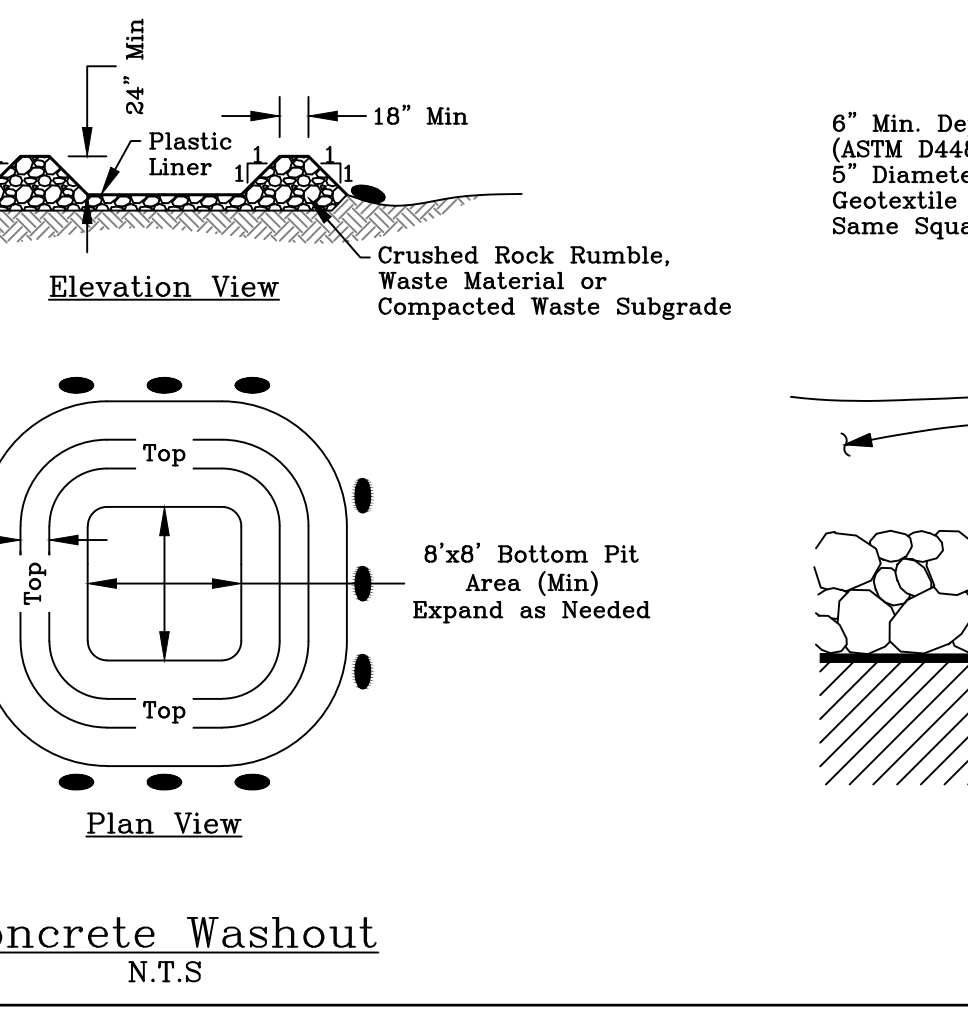
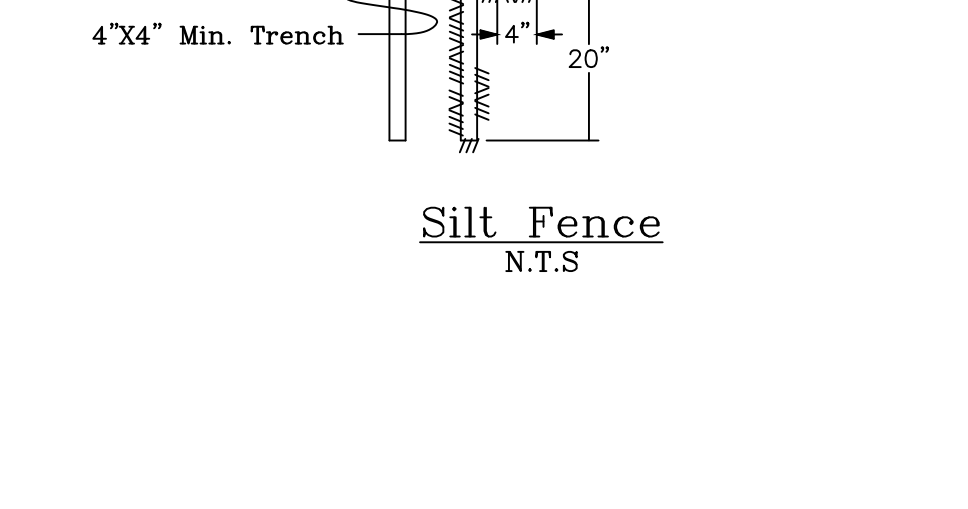
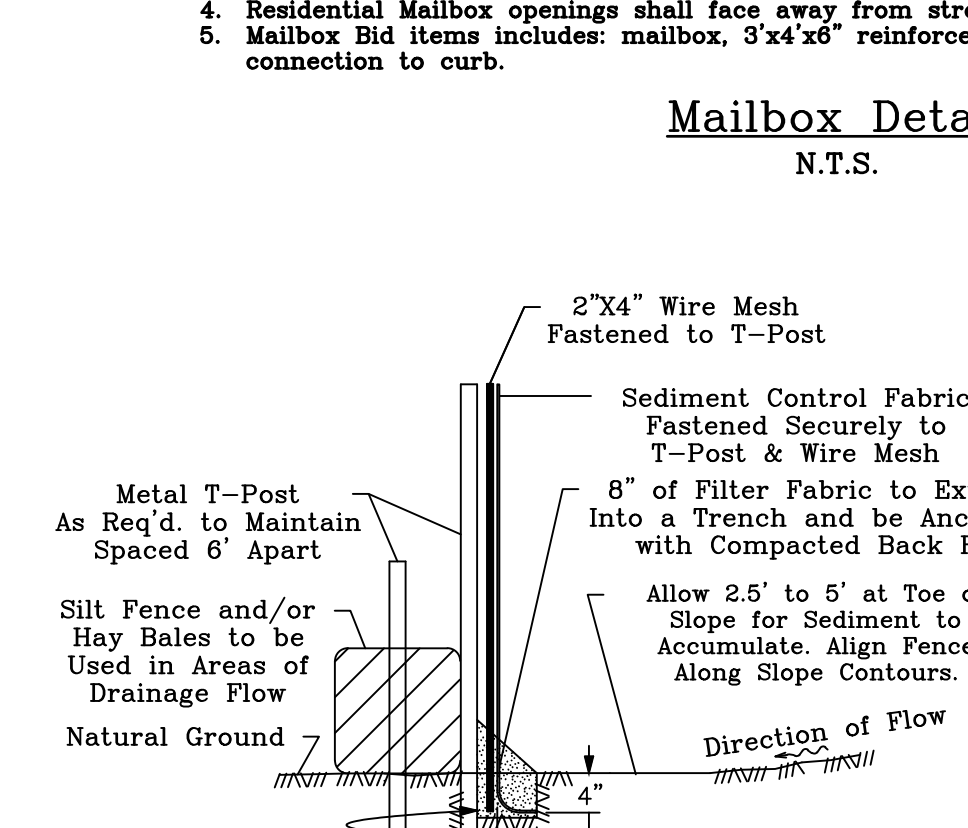
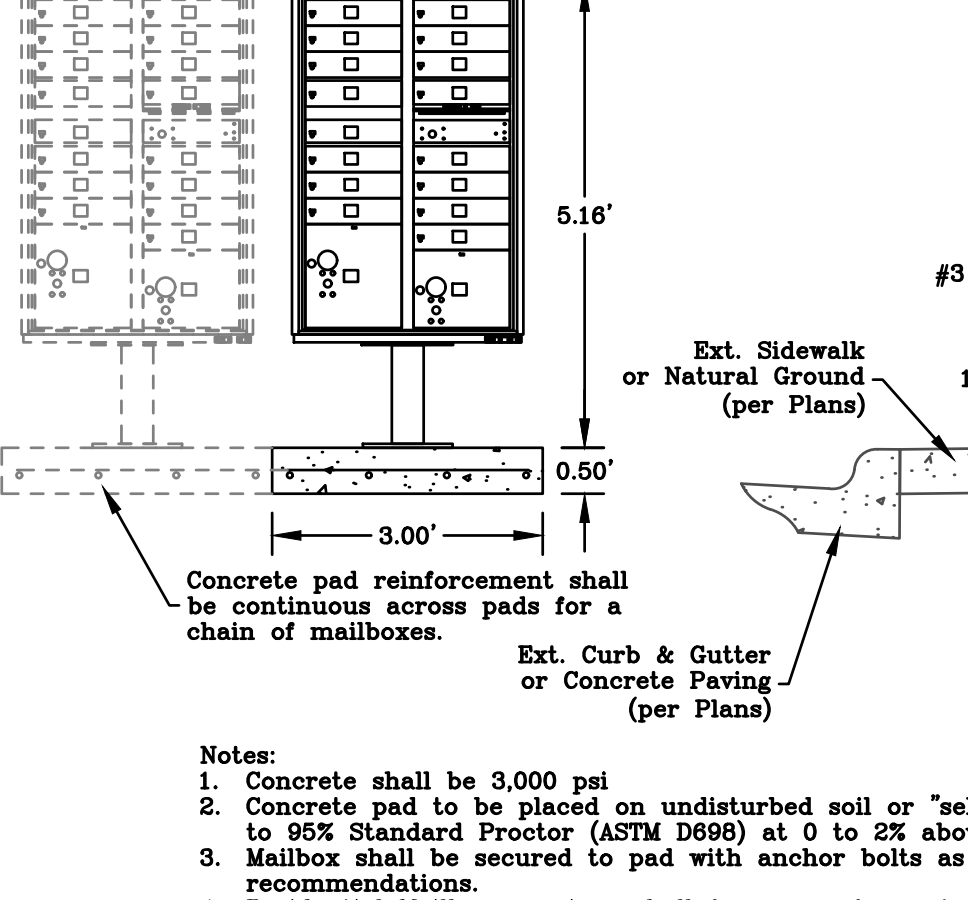
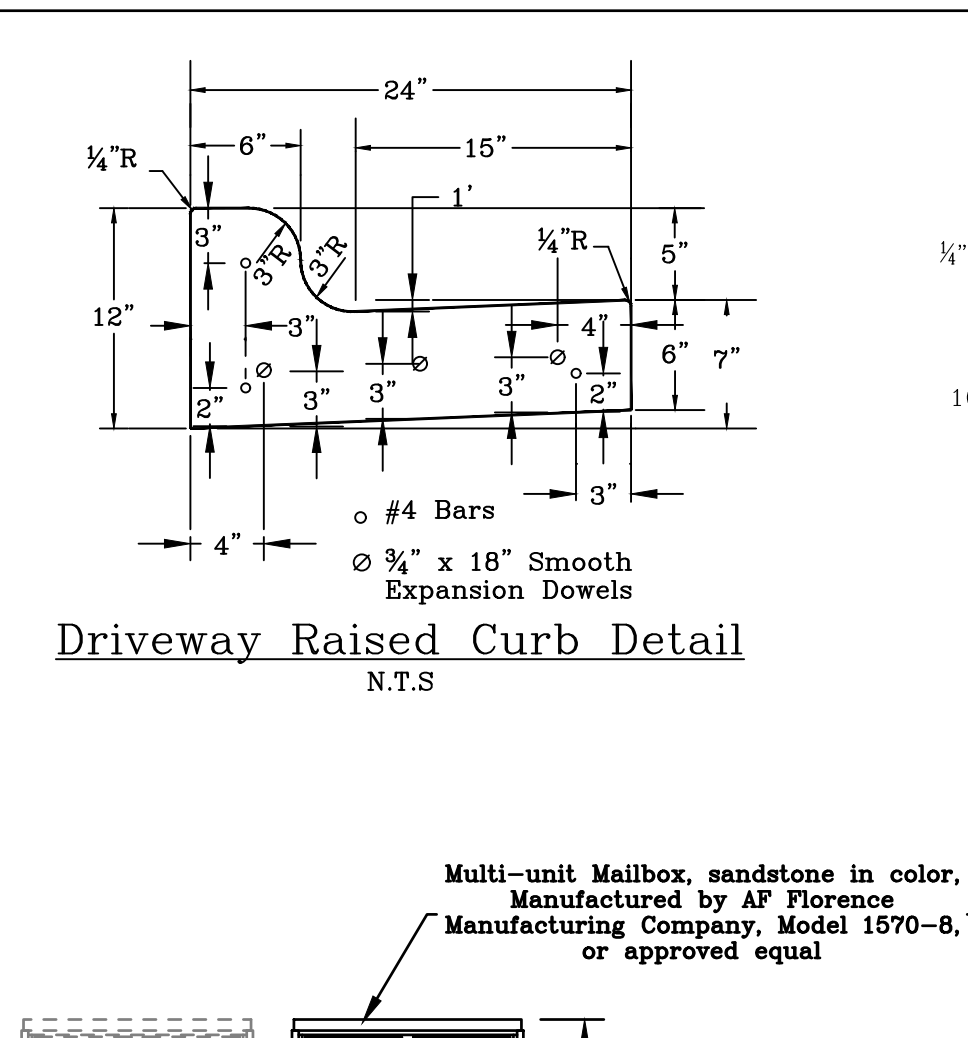
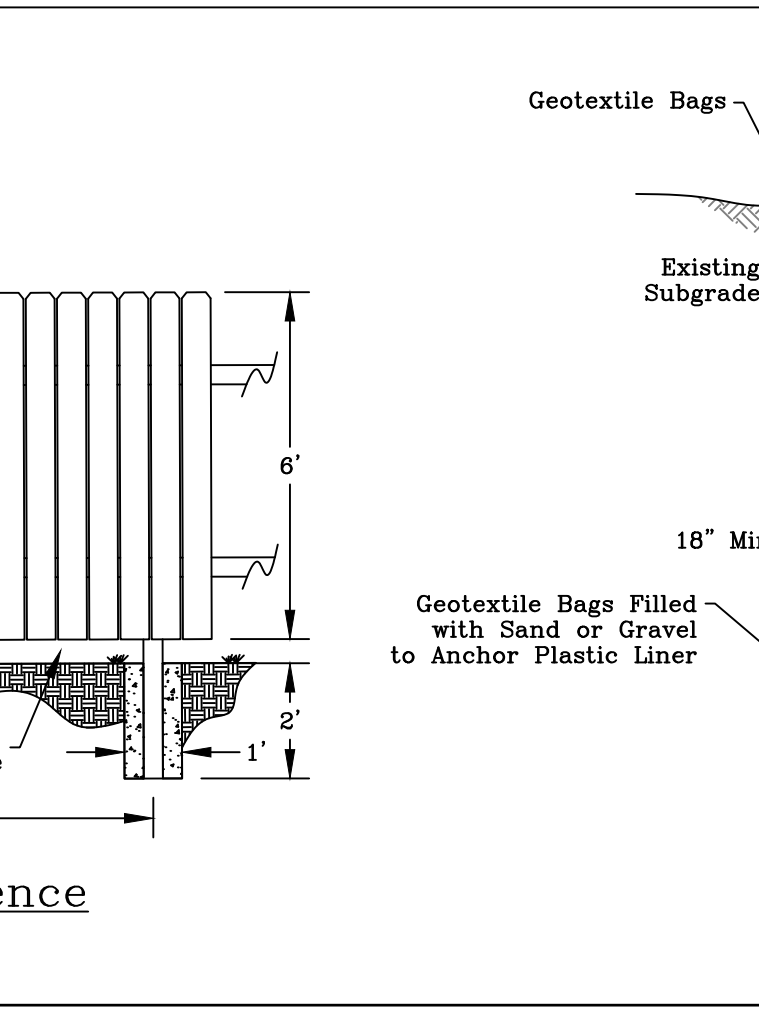
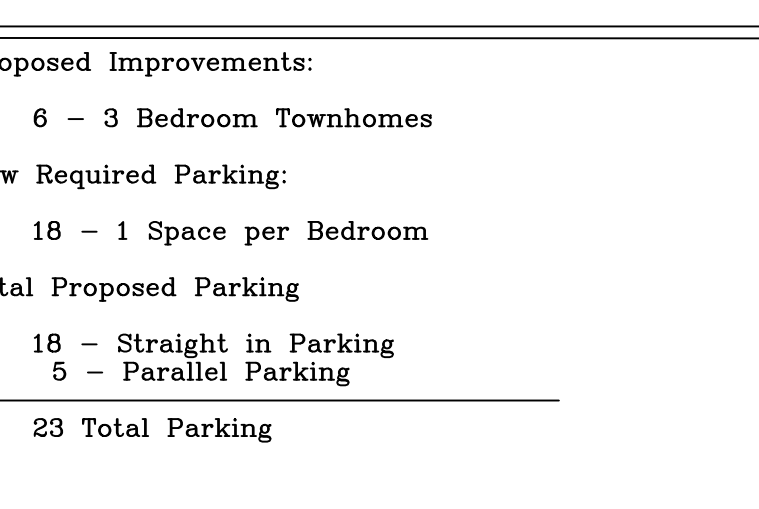
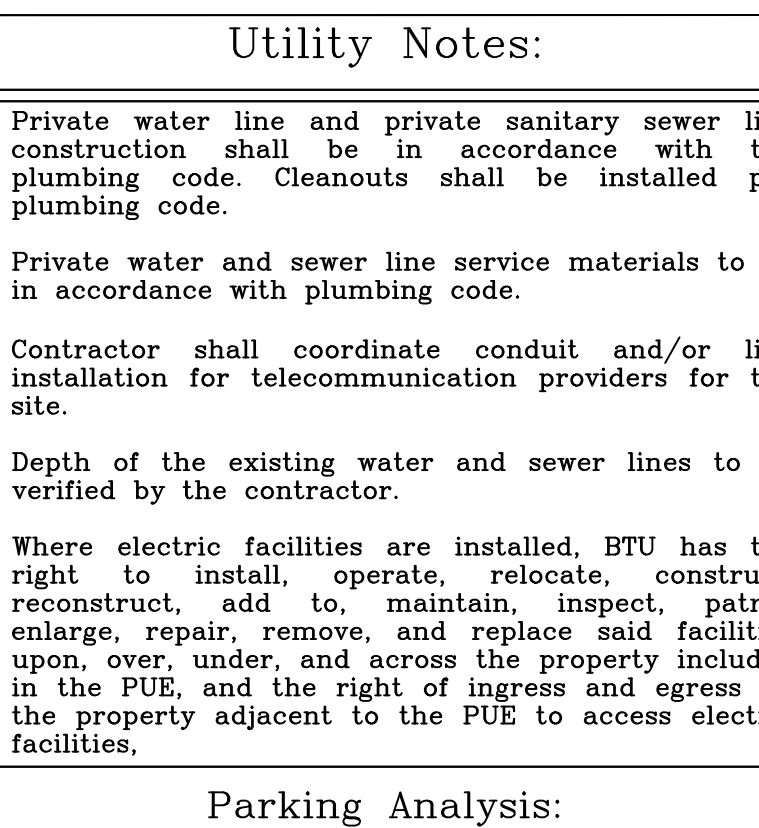
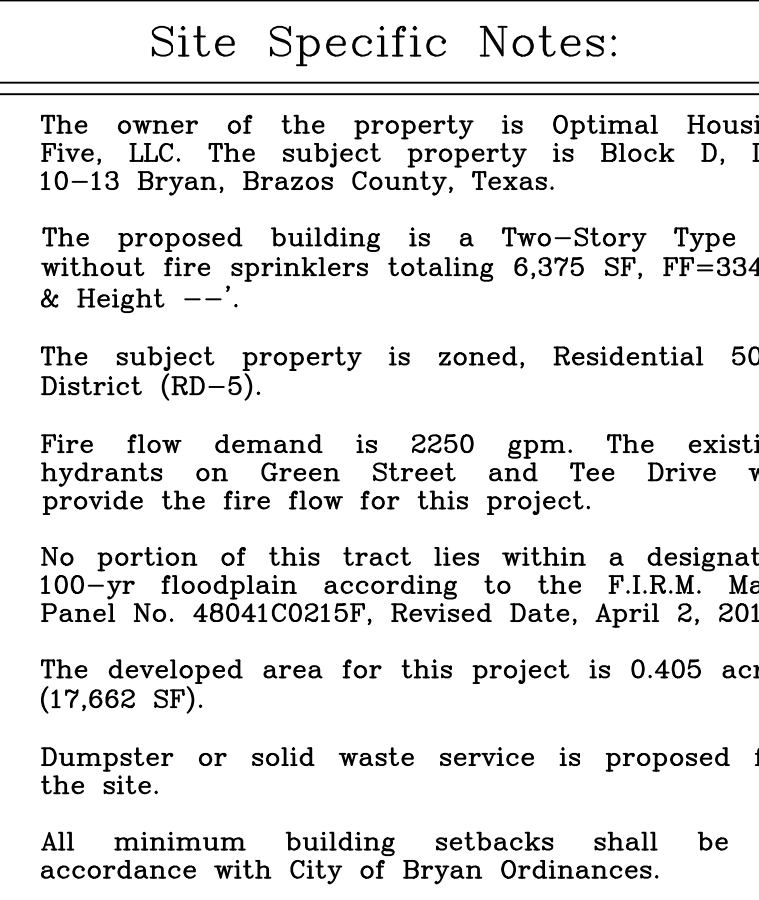
- All lumber shall be weather resistant cedar or pressure treated.
- Pickets are to be 1x6, dog-eared, fastened w/ 1 1/2" galv. screws, min 2 per connection.
- Bails are to be 2x4 fastened w/ 3" galv. screws, min. 3 per connection.
- Post are to be 4x4, placed 6' O.C., & set in 3,000 PSI concrete.

NOTICE!

The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

Contact Information:

Texas One Call: 800-245-4545
Lone Star One Call: 800-669-8344
Texas Excavation Safety: 800-344-8377
City of Bryan: 979-209-5900
System (Digless): 979-821-5865
Bryan Texas Utilities: 979-774-2506
Atmos Energy: 979-821-4300
Frontier: 979-846-2229
Suddenlink: 979-846-2229



Site Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- It is the intent of these plans to comply with all City of Bryan guidelines, details, and specifications.
- See Sheet C1 - General Notes.

Owner/Developer:
Optimal Housing Five, LLC
2529 Shenandoah Dr.
Bryan, TX 77801

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Not for Construction**

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No.	Revision/Issue	Date

Firm Name and Address:

J4 Engineering
PO Box 5192 - Bryan, Texas - 77805
979-739-0567 www.J4Engineering.com
Firm# 9951

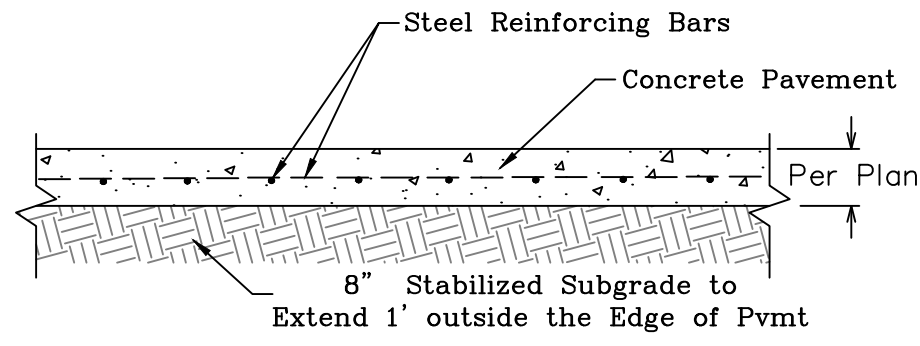
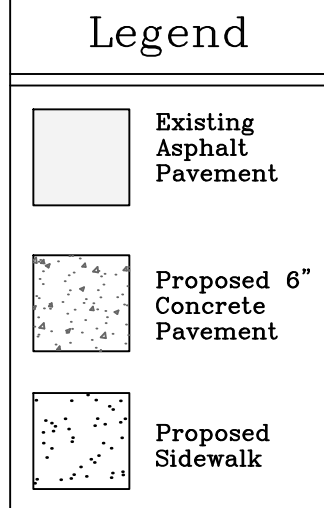
Project Name and Address:

**Tee Drive
Townhomes**
Country Club Estates Addition
Block D, Lots 10-13-0.441 Acres
Bryan, Brazos County, Texas

Date: September 2023 Sheet: C2
Scale: As Noted

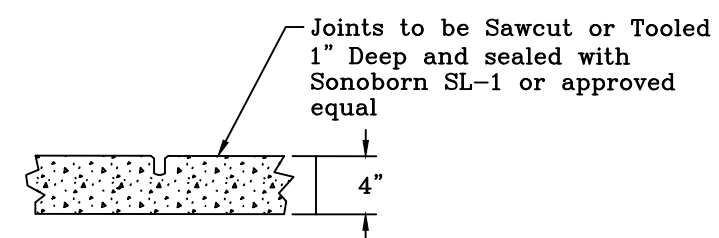
Paving Notes:

- All concrete for pavement construction shall be to the minimum depth shown on the plans and shall have a minimum 28-day compressive strength of 3,500 PSI. The maximum percentage of fly ash replacement of Portland cement shall be 20 percent by weight.
- Item 360 of the TxDOT "Standard Specifications for Construction and Maintenance of Highways, Street, & Bridges" shall be used as a technical specification for reinforced concrete pavement.
- Subgrade shall be stabilized per the "Subgrade Stabilization Table."
- The subgrade beneath the concrete sidewalks shall be compacted and "proof-rolled". Any weak or soft areas identified by the "proof-rolling" shall be removed and replaced.
- A sand leveling course under concrete pavement is NOT permitted.
- Joint sealant material to be Sonneborn SL-1 or approved equal.
- Curing compound shall be applied uniformly to the concrete after the surface finishing is complete at the rate recommended by the manufacturer. The curing compound shall meet the requirements of TxDOT Item 526.
- Contractor shall provide engineer with a proposed pavement expansion and contraction joint plan prior to pavement construction.
- See Sheet C1 - General Notes.

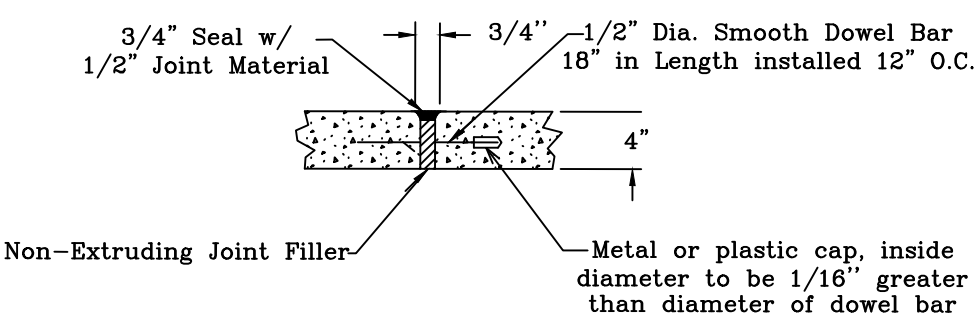


1. 6" Pavement - use #4 rebar @ 18" O.C.E.W.

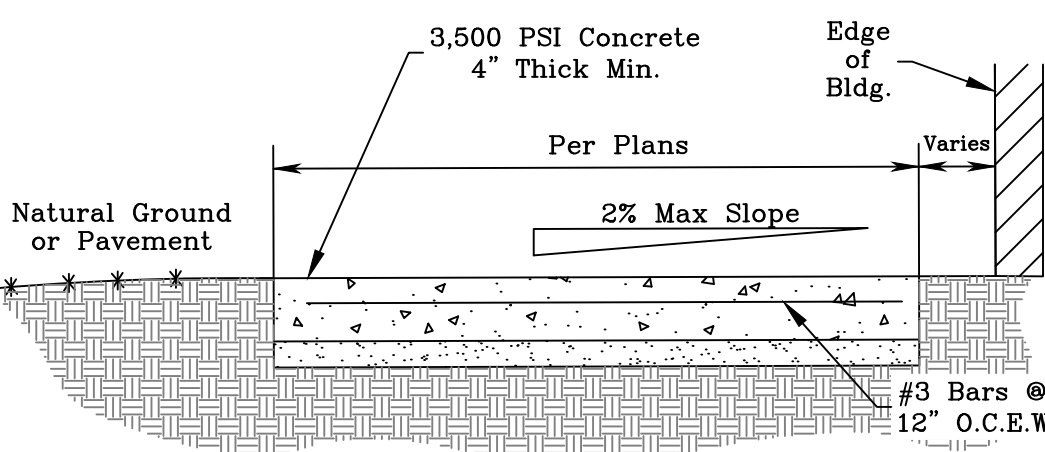
Typical Concrete Paving Section
N.T.S.



Contraction Joint Detail
N.T.S.



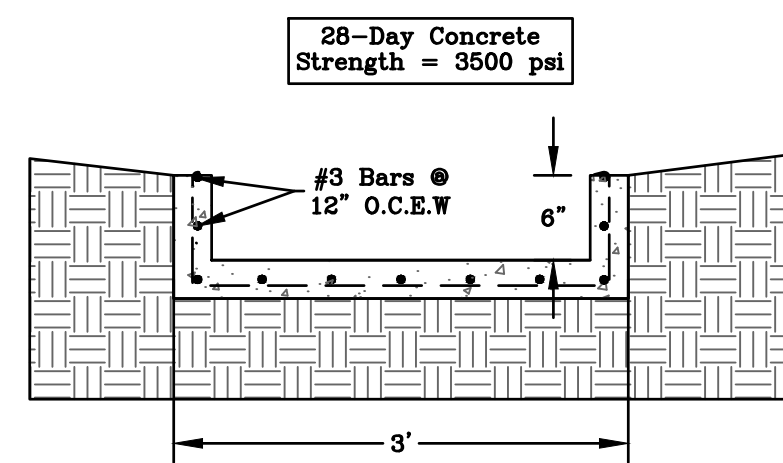
Expansion Joint Detail
N.T.S.



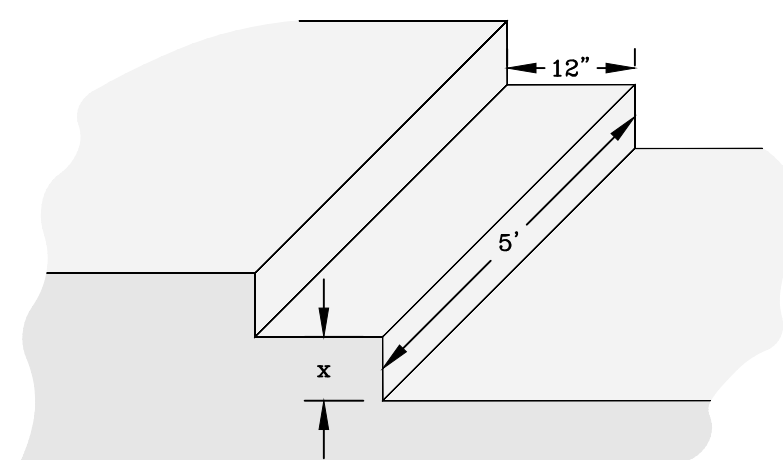
Note:

- Install expansion joints at 40' (max) longitudinal spacing and install contraction joints spaced at a maximum interval equal to the sidewalks width.
- All Sidewalks shall have a light broom finish.

Typical Sidewalk
N.T.S.



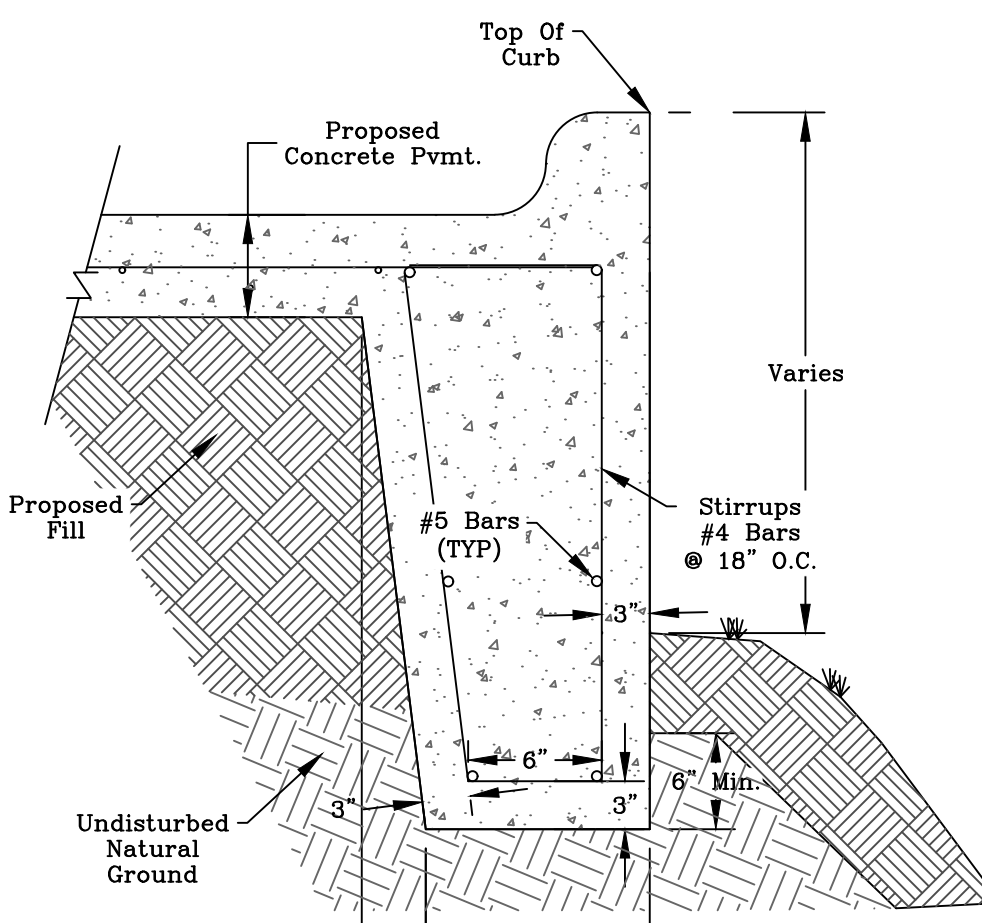
Storm Flume Cross-Section
N.T.S.



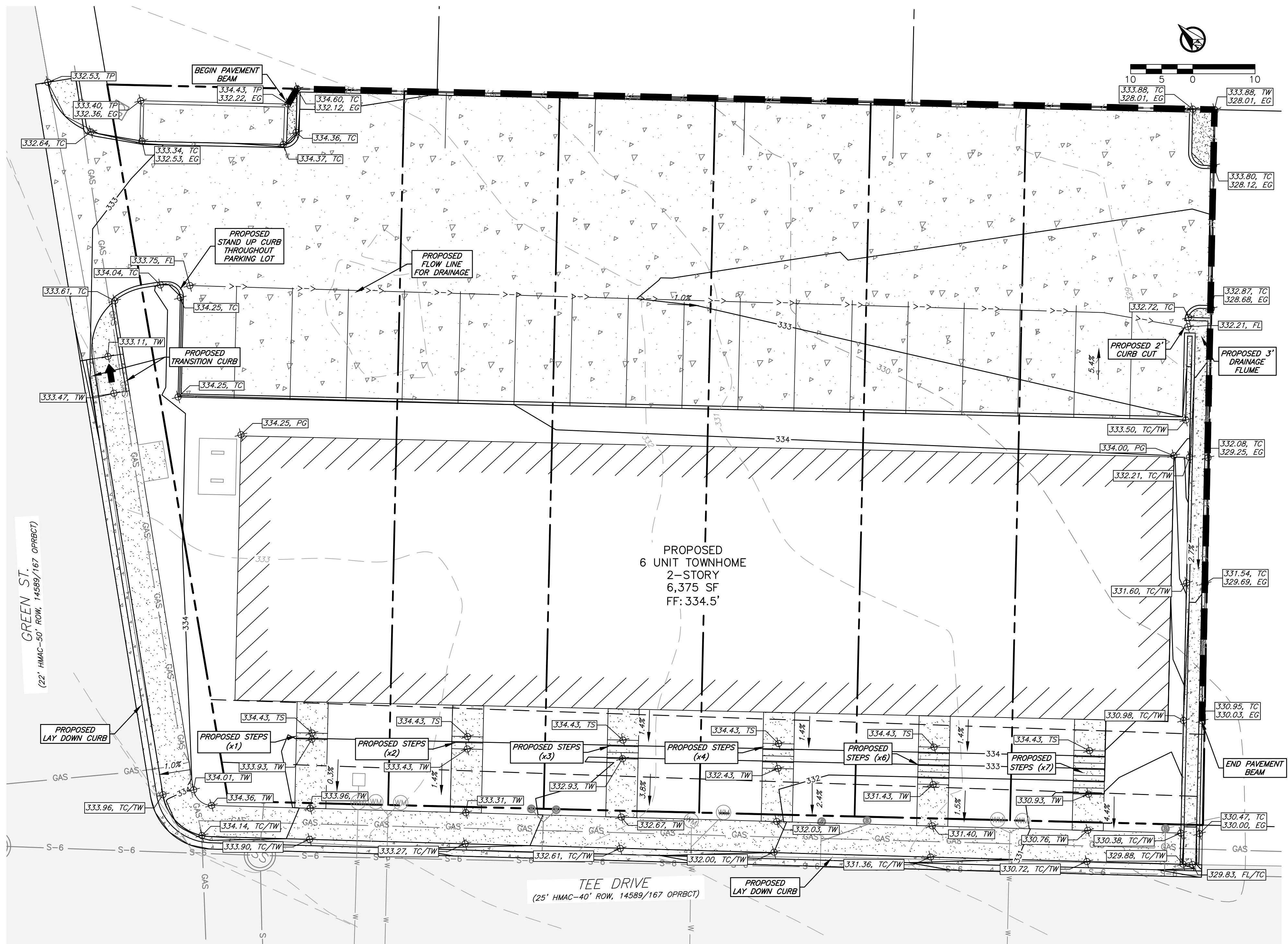
Notes:

- x varies from 5" to 7" as needed.

Typical Step Detail
N.T.S.



Pavement Beam Detail
N.T.S.



Pavement, Grading, & Detention Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
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- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with the project and shall use all means necessary to prevent the occurrence of wind blown litter.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
- See Sheet C1 - General Notes

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 PO Box 5192 - Bryan, Texas - 77805
 979-739-0567 www.J4Engineering.com
 Firm# 9951

Project Name and Address:
Tee Drive Townhomes
 Country Club Estates Addition
 Block D, Lots 10-13 -0.441 Acres
 Bryan, Brazos County, Texas

Date: September 2023 Sheet:
 Scale: As Noted **C3**

J4 Engineering 09/19/2023 Greens St. Townhomes-Site Plan.dwg J4E Project # 23-032

Landscape Notes:

- All trees shall be provided as container grown trees.
- All landscaping plant material shall be guaranteed for a period of thirty days from the date of installation by contractor. After thirty days, the owner will be responsible for maintenance of all landscaping.
- The property owner is responsible for regular weeding, mowing, fertilizing, and other maintenance of all plantings following acceptance from Contractor. The required landscaping must be maintained in a healthy, growing condition at all times.
- Plant material shown here is represented at its mature size. Plantings to be installed will be significantly smaller than those shown and should not be expected to reach maturity for several years dependant on growing conditions.
- Contractor is to seed all disturbed areas left unpaved and guarantee coverage of vegetation until establishment of grass. Grass type shall be Bermuda grass or Rye/Bermuda mixture.
- All water meters, hydrants, valves, manholes, and cleanouts, on or adjacent to the property, must remain accessible during construction and upon the completion of necessary grading and landscaping.
- "Cal." indicates caliper at 12" above the ground. Multi-trunk trees' caliper is measured with the single, largest cane.
- Existing Trees used for landscape credit must have a minimum trunk diameter of four and one-half inches or larger and be in a healthy physical state. Should existing trees used for landscape credit die, they shall be replaced with new trees according to the requirements of section 62-429(a)(3)c. Existing trees with a trunk diameter less than four and one-half inches may be given the same landscape credit as that given newly planted trees with similar characteristics.
- Replacement of dead landscaping shall occur within 90 days of notification. Replacement material must be of similar character as the dead landscaping. Failure to replace dead landscaping as required by the zoning official or his/her designee, shall constitute a violation of this article subject to the general penalty provisions of City Code section 1-14.
- To ensure the growth of trees in end islands, a minimum 24-inch soil depth and 250 cubic feet of appropriate planting medium is required per tree, with topsoil mounded to a center height.

Landscape Analysis:

Construction Activities:
Disturbed Area (Parking, Pavement, Sidewalk, Structures)


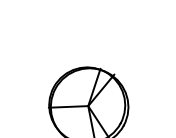
Net Total = 17,662 SF

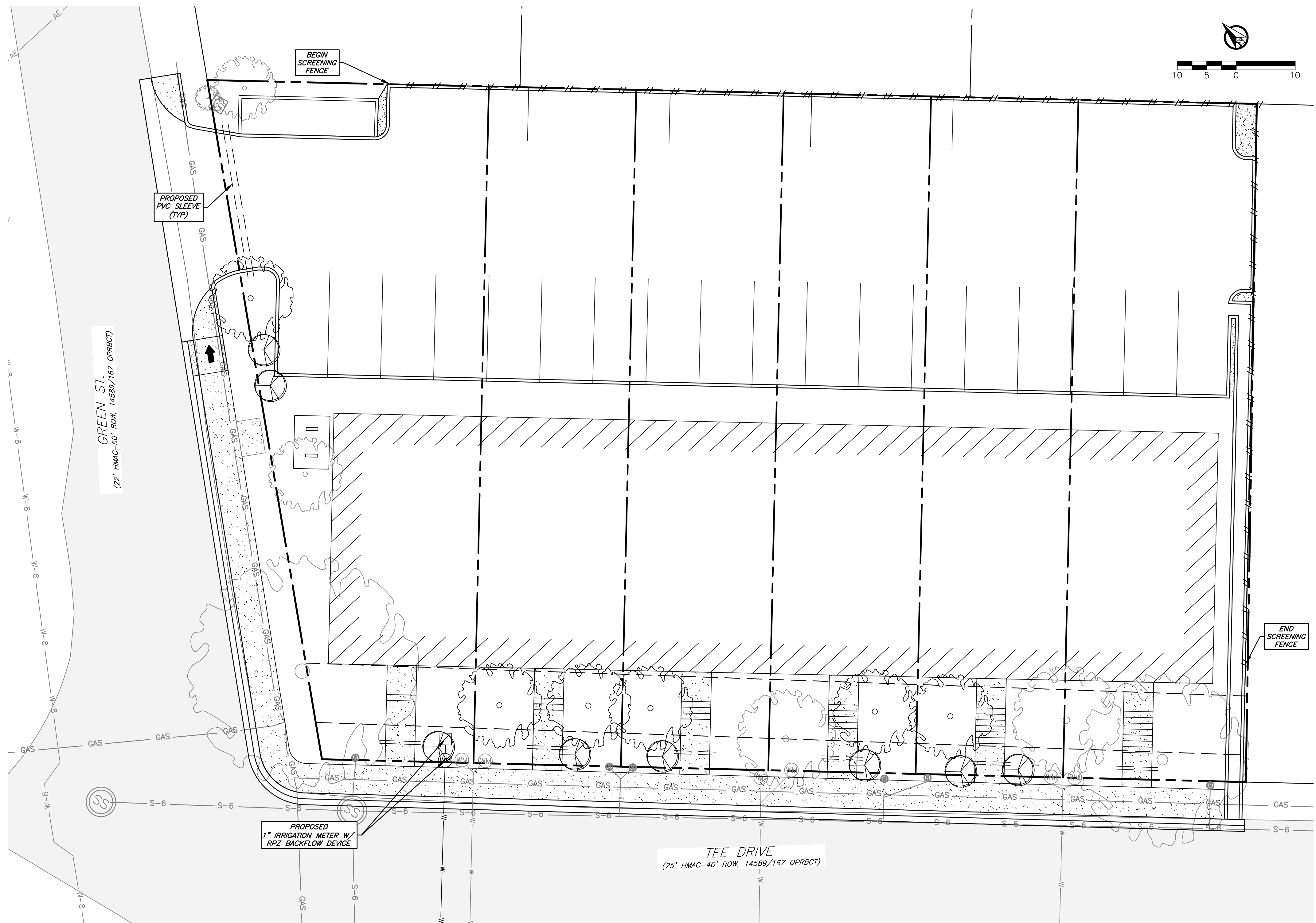
Requirements:

Disturbed Area
17,662 SF @ 15%
Net Total = 2,650 SF

Provided:

Proposed Canopy Trees
6 @ 250 SF = 1,500 SF
Proposed Non-Canopy Trees
8 @ 150 SF = 1,200 SF
Net Total = 2,700 SF

Symbol	Qty.	Common Name	Botanical Name	Size
	6	Cedar Elm	Ulmus crassifolia	3" cal.
	8	Crepe Myrtle	Lagerstroemia indica	1 1/2" cal.




Landscape Plan

General Notes:

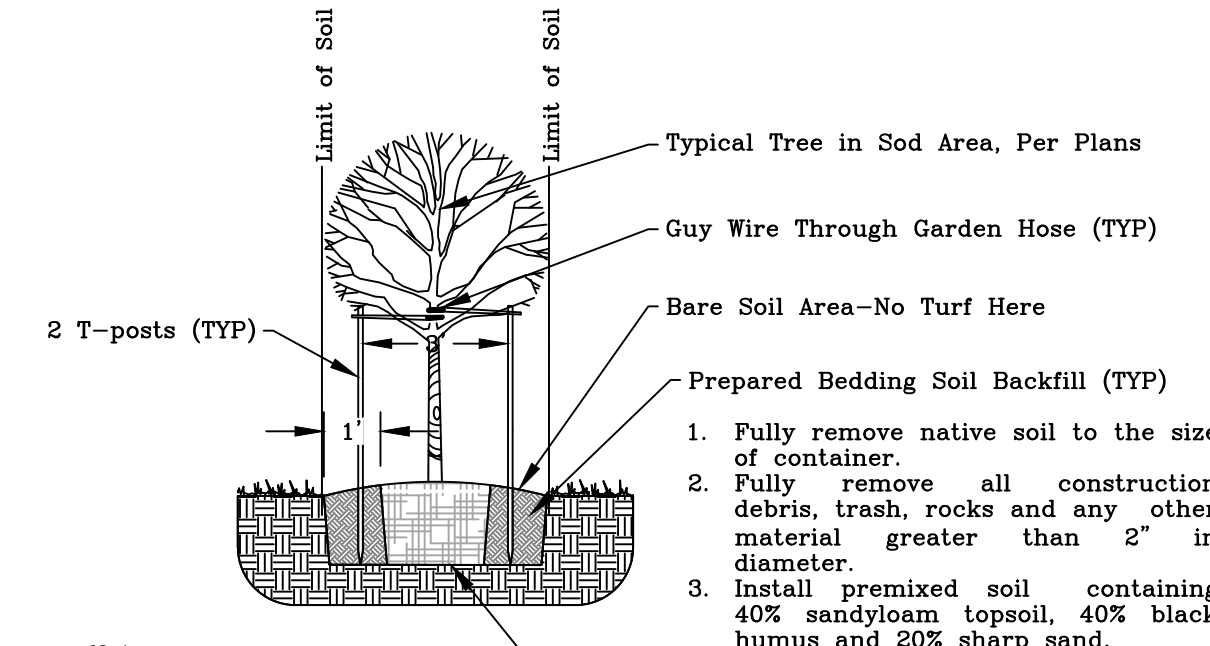
- An irrigation system to service all new plantings will be installed by a certified installer prior to a certificate of occupancy being issued.
- Irrigation system must be protected by either a pressure vacuum breaker, reduced pressure principle back flow device, or a double-check back flow device and installed as per city ordinance 2394.
- All backflow devices must be installed and tested upon installation as per city ordinance 2394.
- 100% coverage of groundcover, decorative paving, decorative rock(not loose) or a perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way, and adjacent property disturbed during construction.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications, & details.
- See Sheet C1-General Notes.

No.	Revision/Issue	Date

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 979-739-0567 www.J4Engineering.com
 Firm# 9951

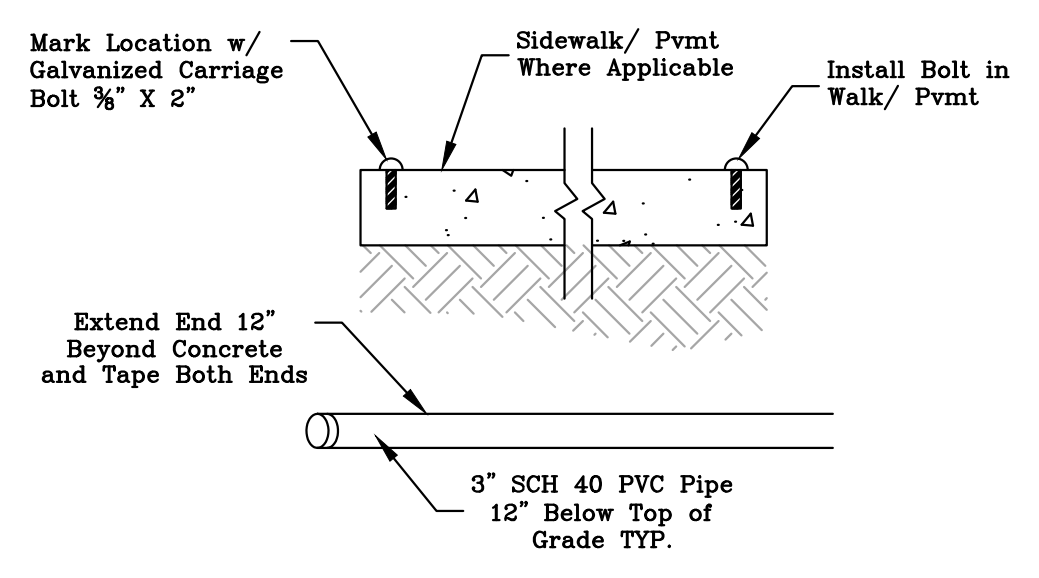
Project Name and Address:
Tee Drive Townhomes
 Country Club Estates Addition
 Block D, Lots 10-13-0,441 Acres
 Bryan, Brazos County, Texas

Date: September 2023 Sheet:
 Scale: As Noted **L1**

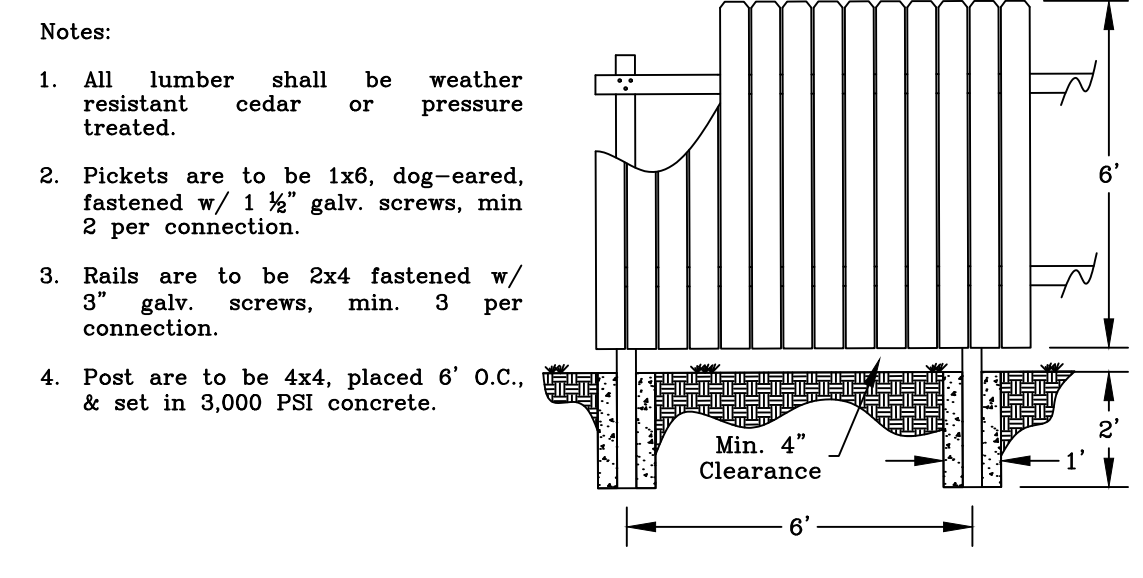


- Notes:**
- Trees to be balled and burlapped or container grown.
 - If container grown, remove container from tree before planting.
 - Top of root ball to be 3" higher than final grade.
 - Top of root ball to be exposed.
 - Fully remove native soil to the size of container.
 - Fully remove all construction debris, trash, rocks and any other material greater than 2" in diameter.
 - Install premixed soil containing 40% sand/loam topsoil, 40% black humus and 20% sharp sand.
 - Dig planting hole width 12" larger than rootball on all sides.
 - Securely root ball.
 - Root flare shall be exposed.

Tree Staking & Planting
N.T.S



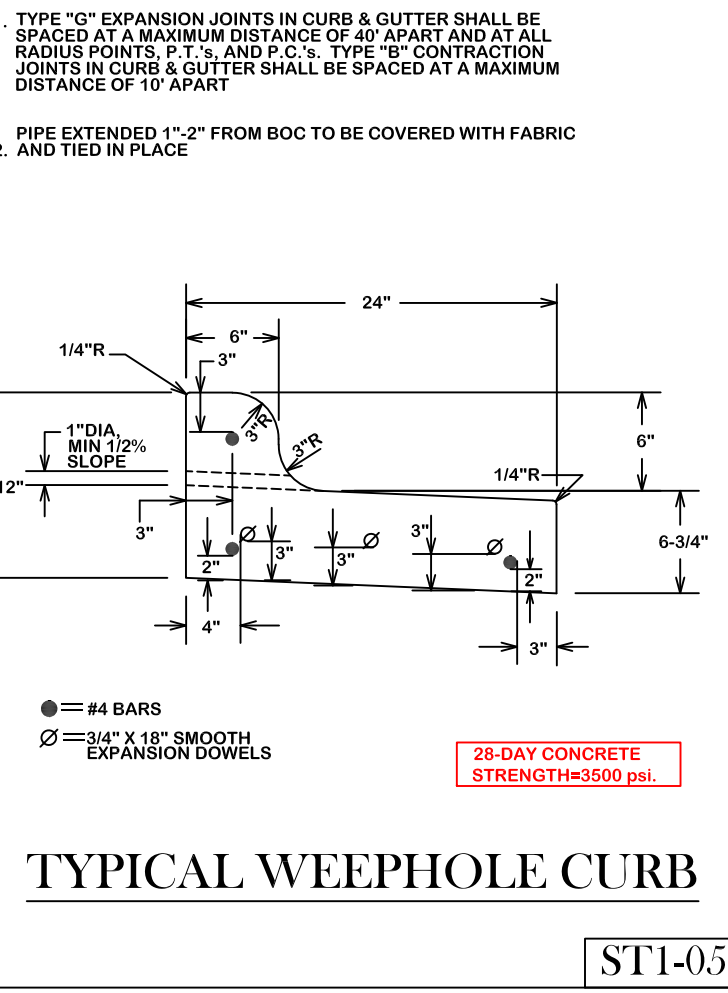
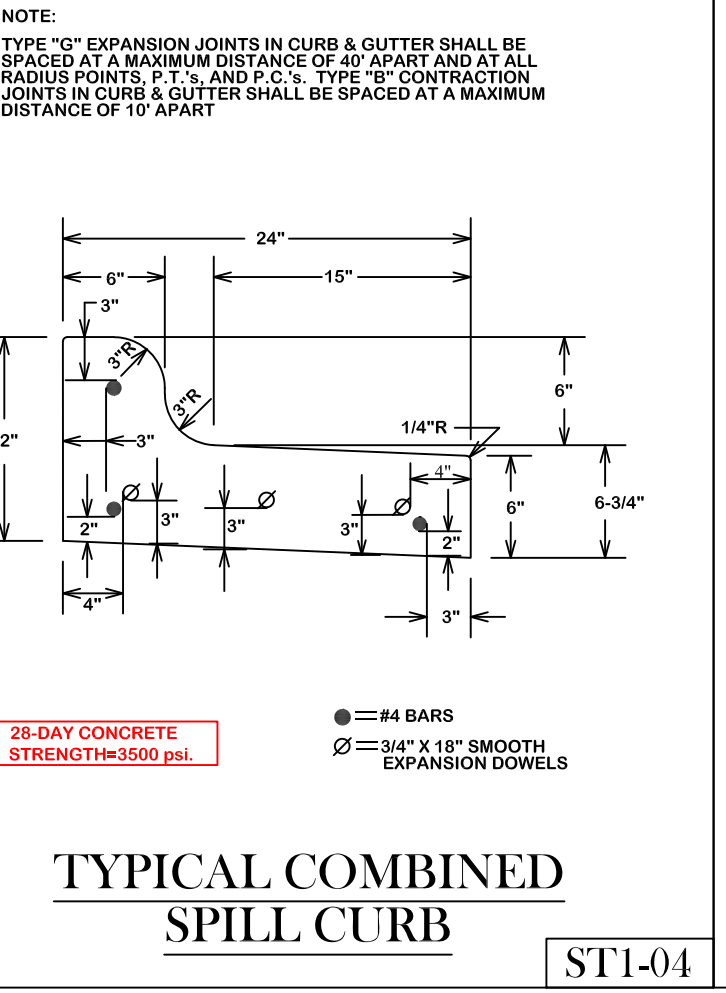
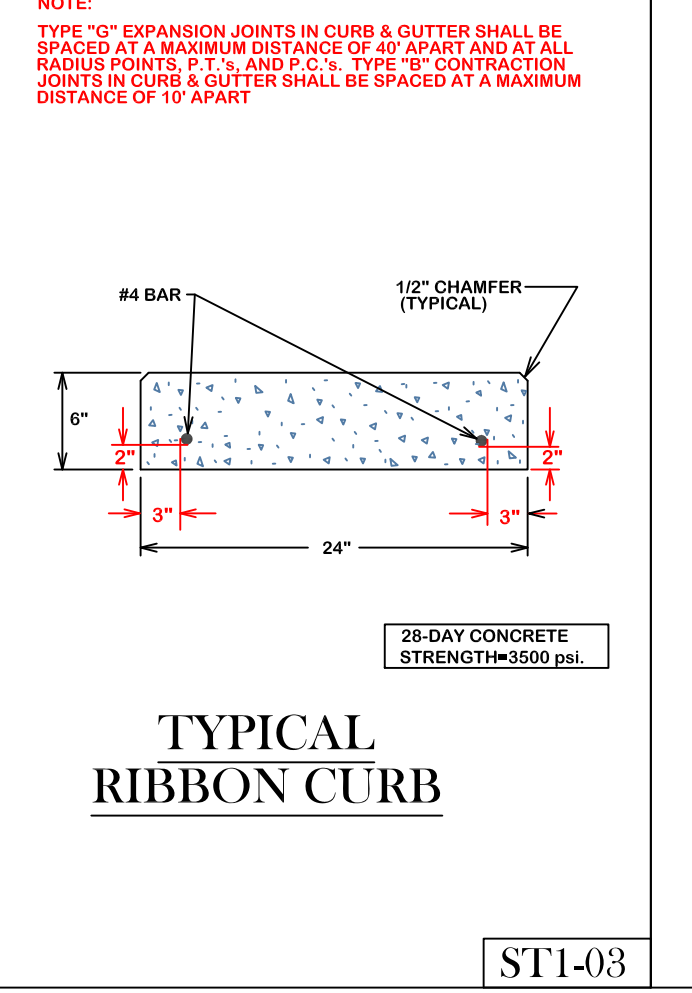
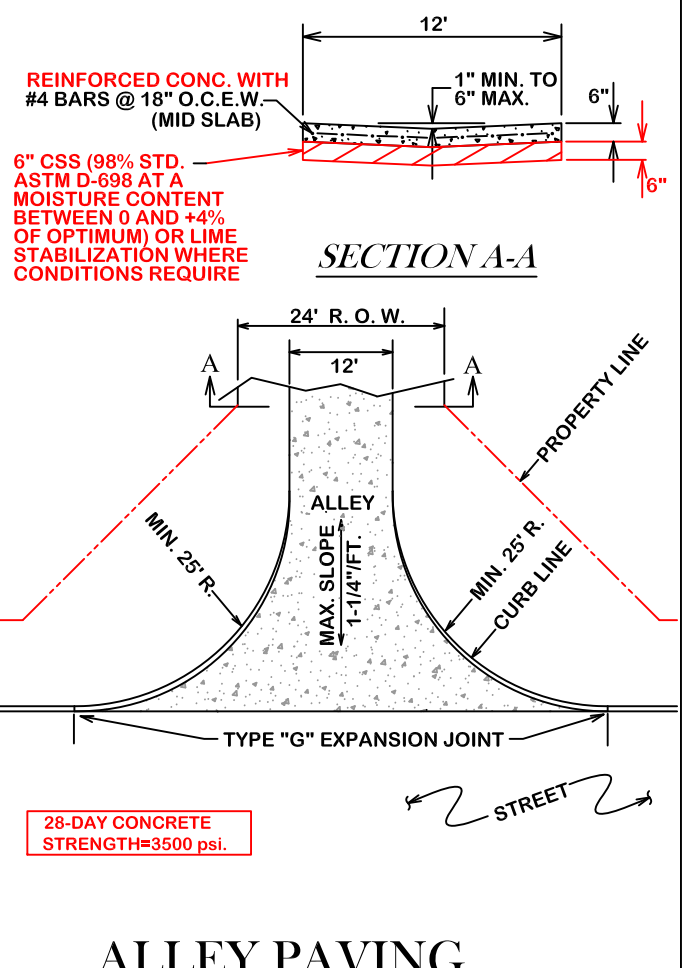
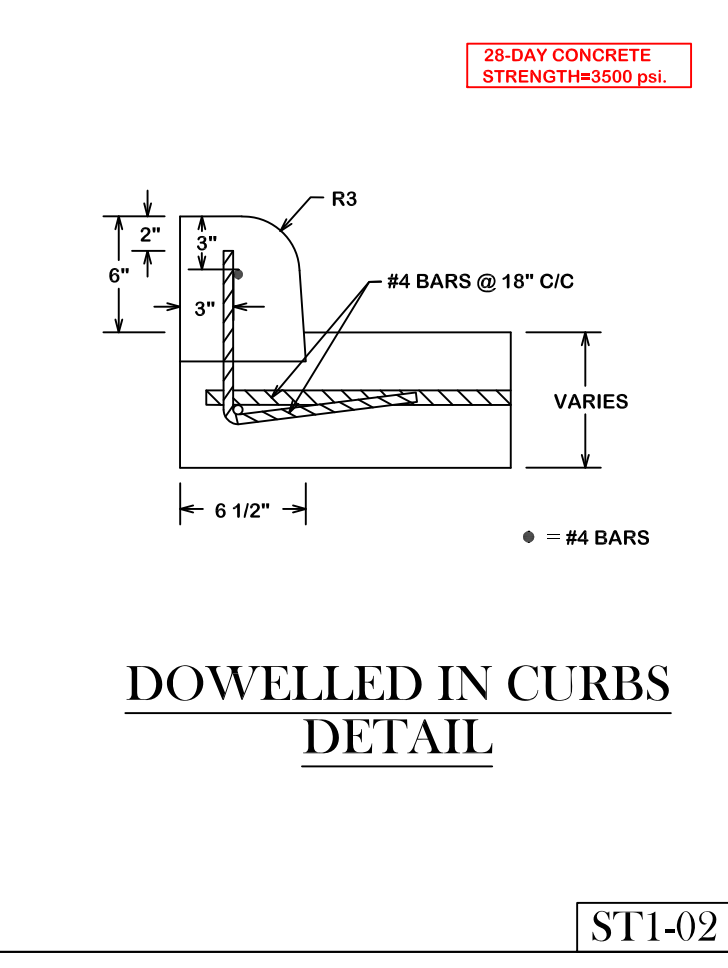
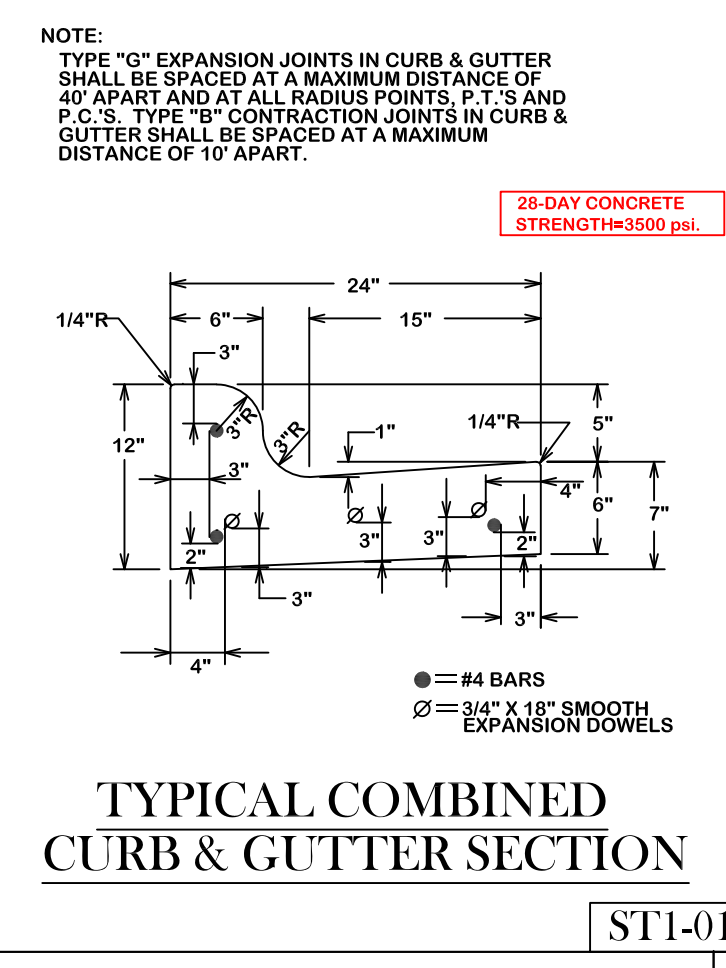
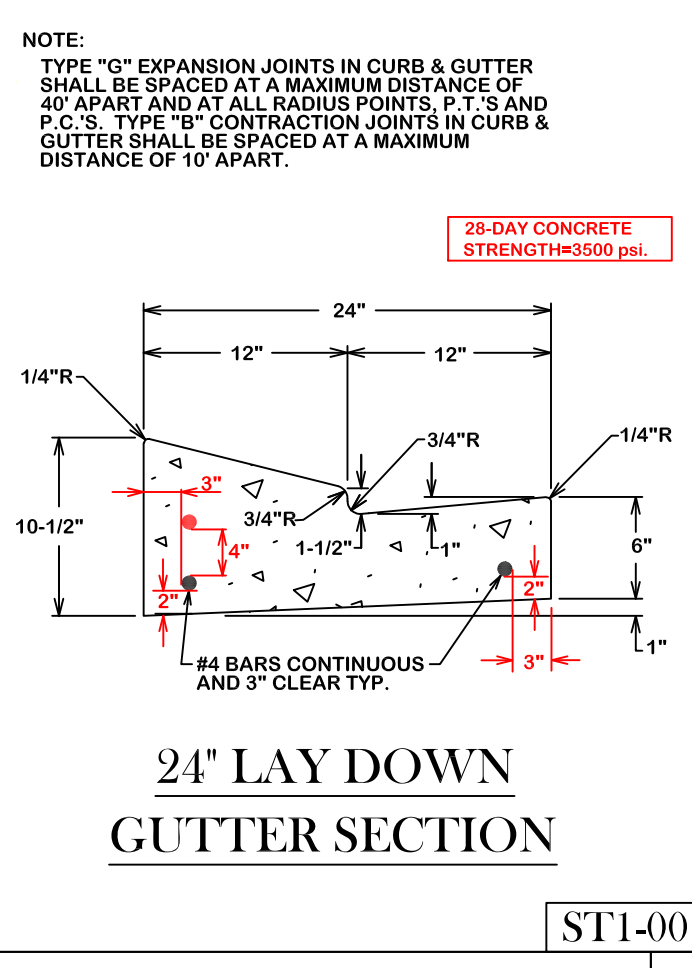
Typical PVC Sleeve
N.T.S



Screening Fence
N.T.S

Notes:

- All lumber shall be weather resistant cedar or pressure treated.
- Pickets are to be 1x6, dog-eared, fastened w/ 1 1/2" galv. screws, min 2 per connection.
- Rails are to be 2x4 fastened w/ 3" galv. screws, min. 3 per connection.
- Post are to be 4x4, placed 6' O.C., & set in 3,000 PSI concrete.



GENERAL NOTES:

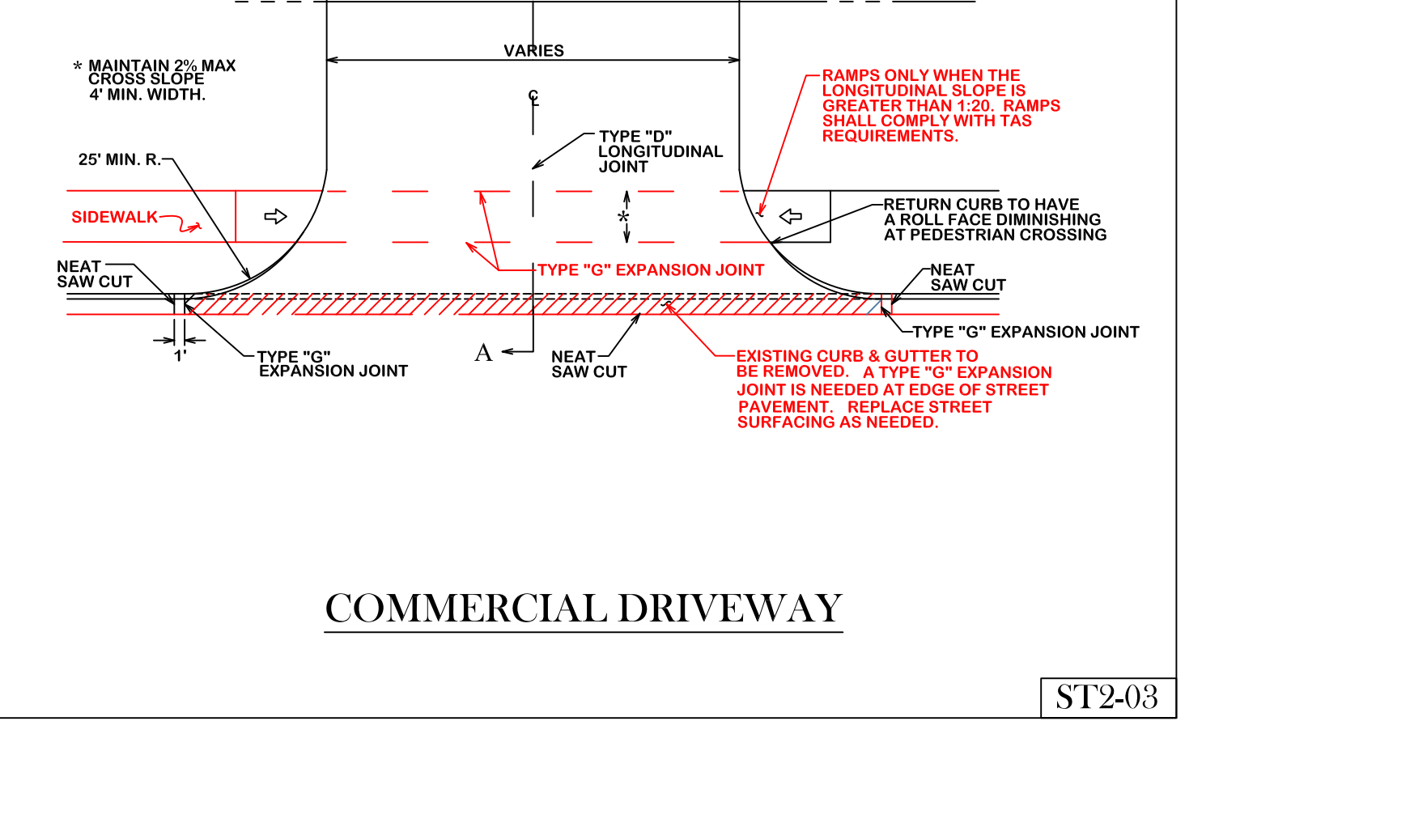
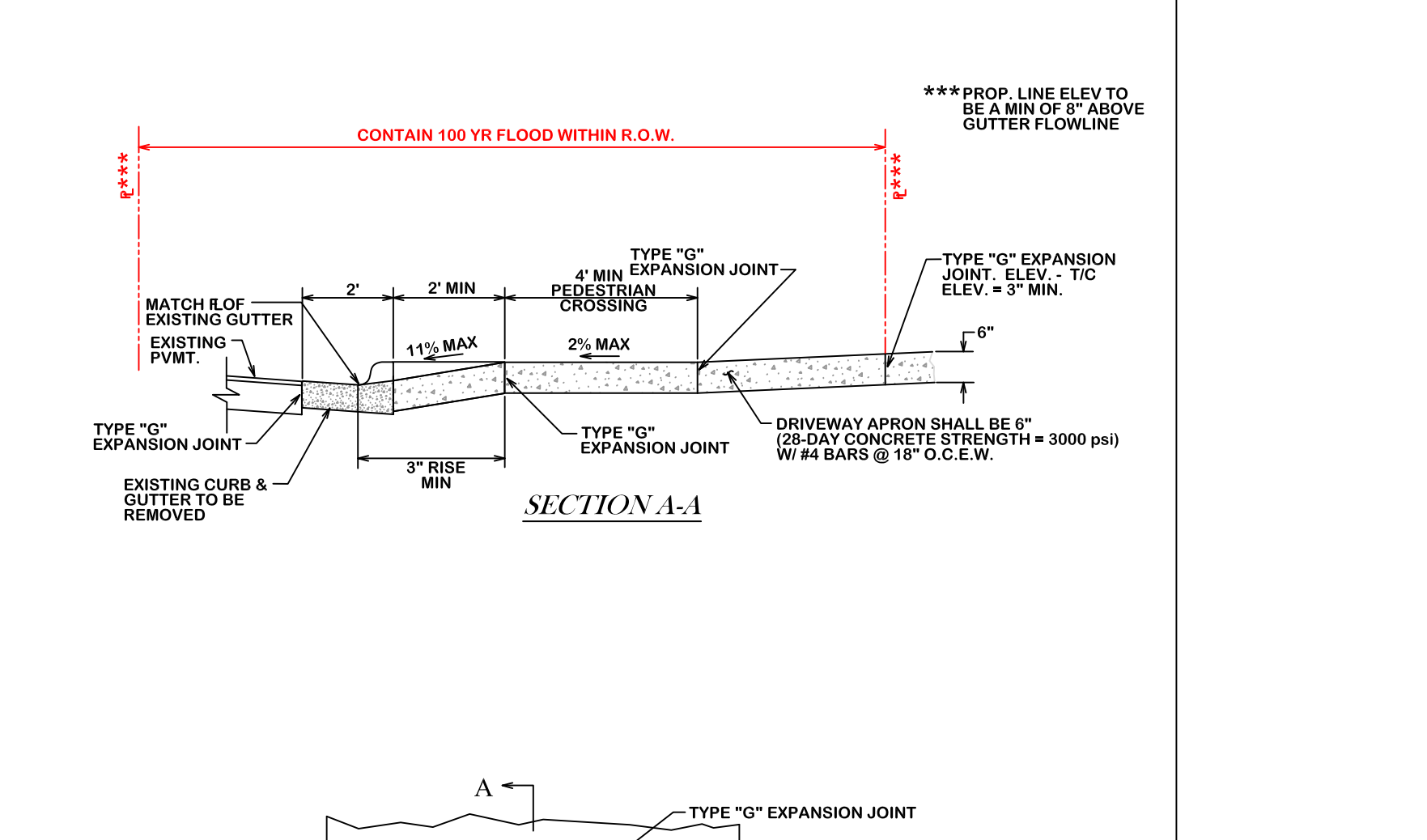
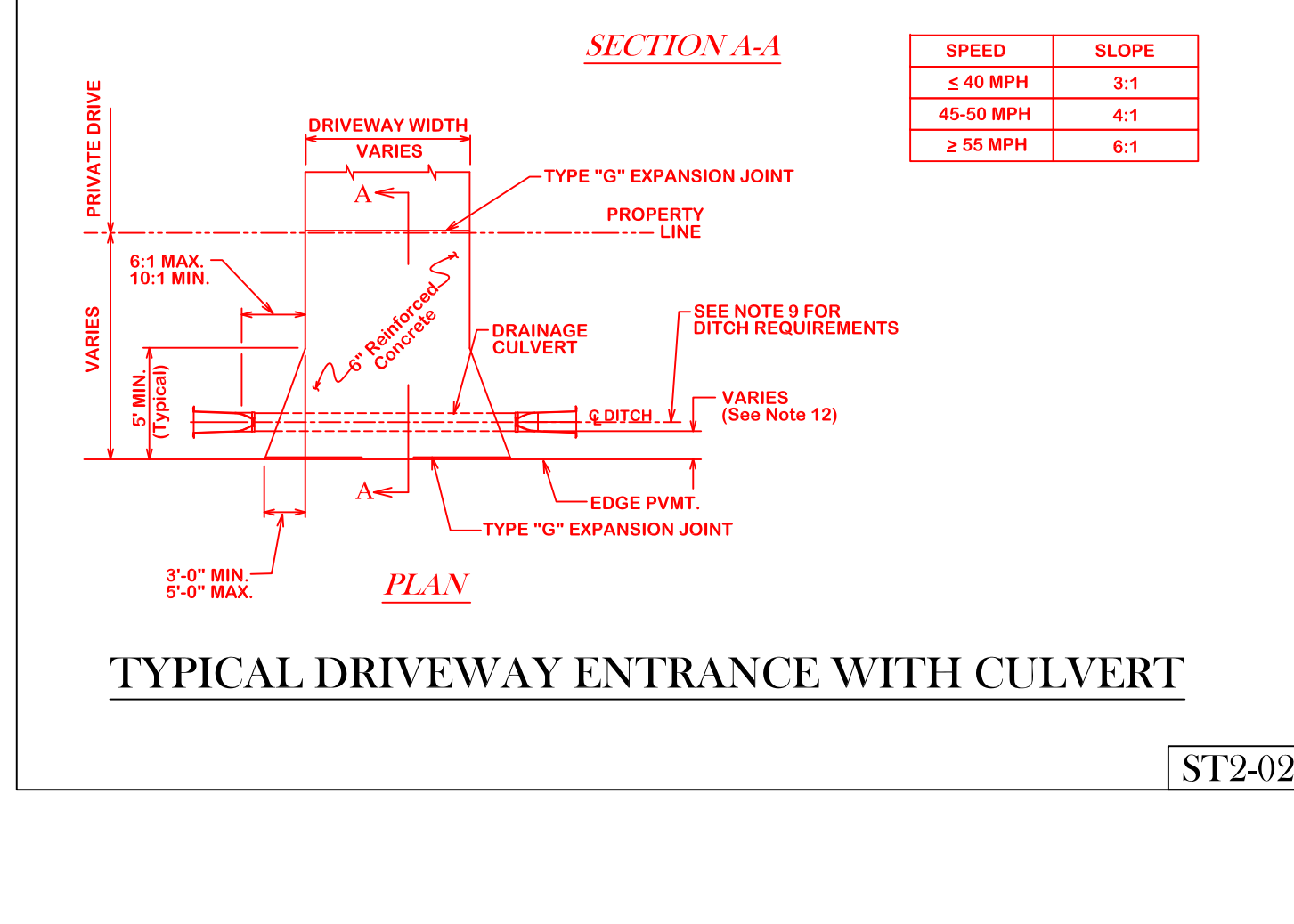
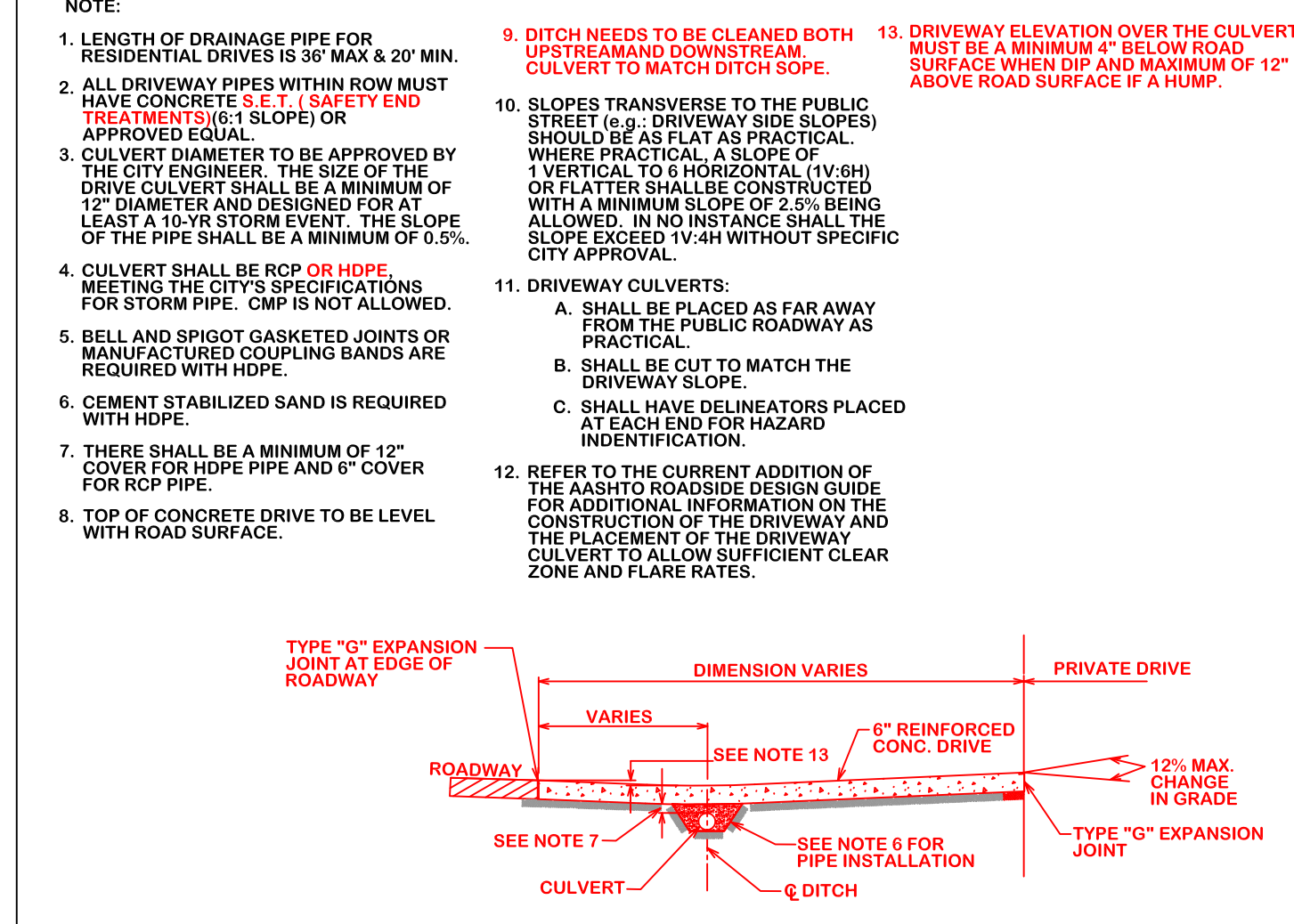
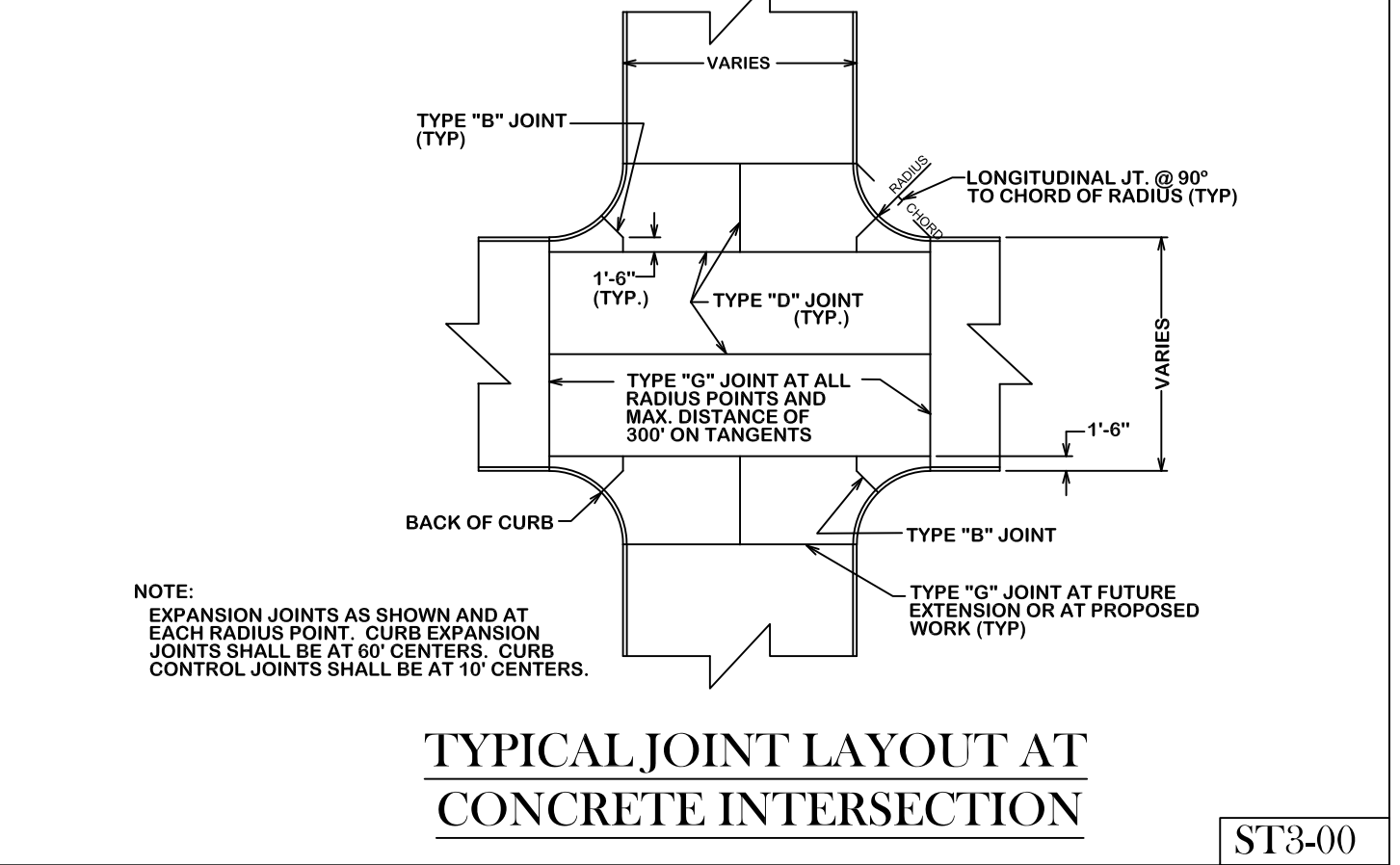
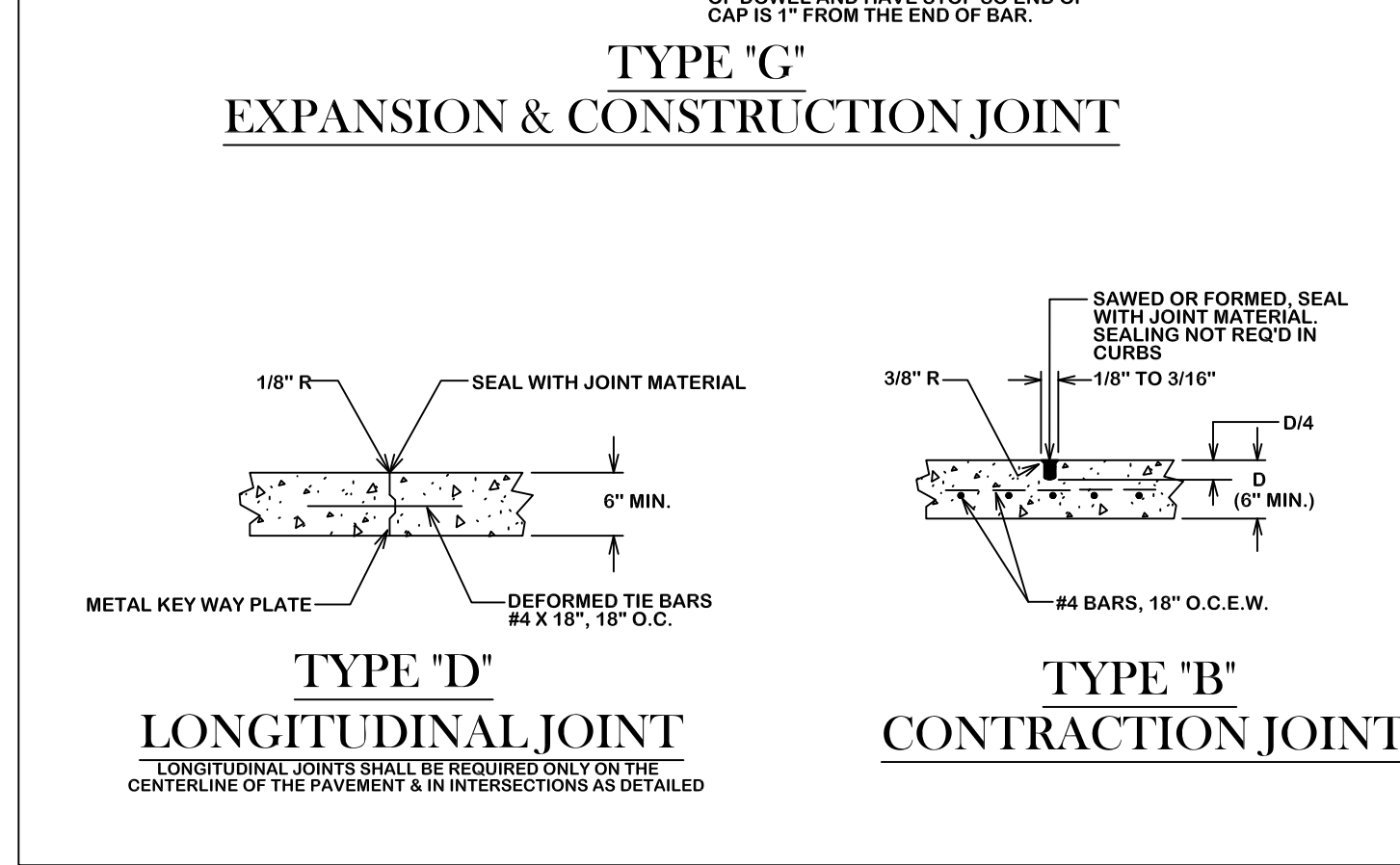
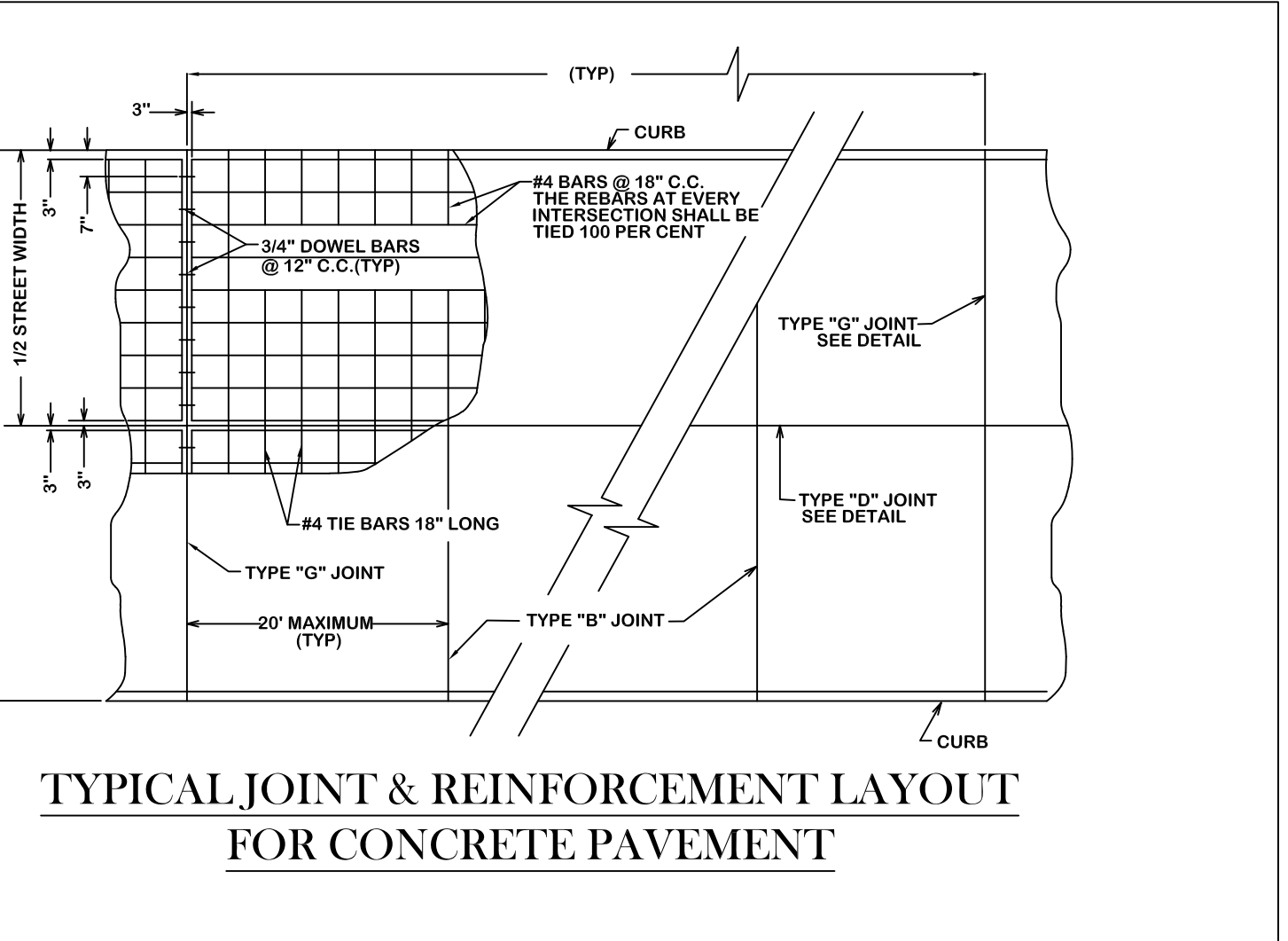
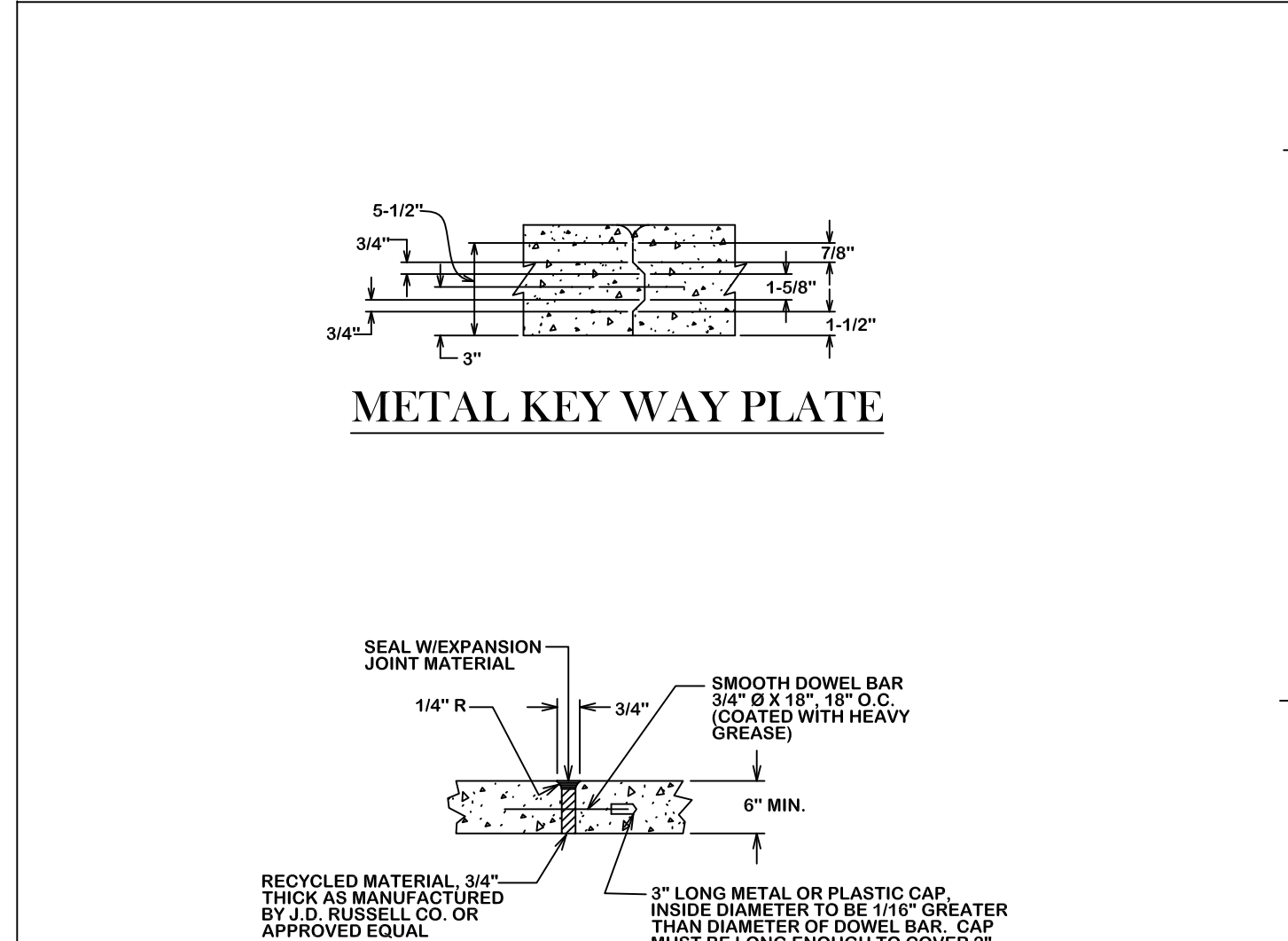
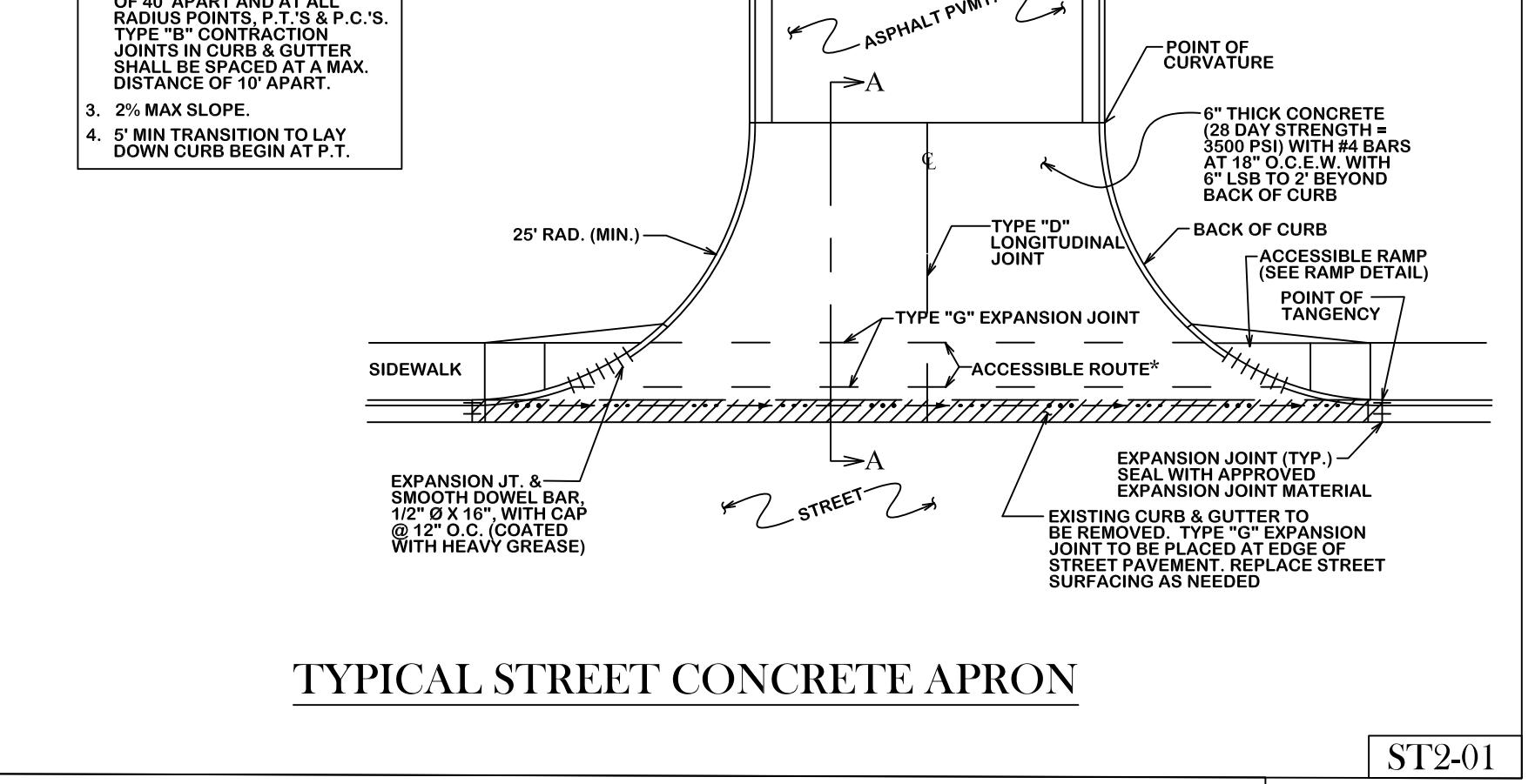
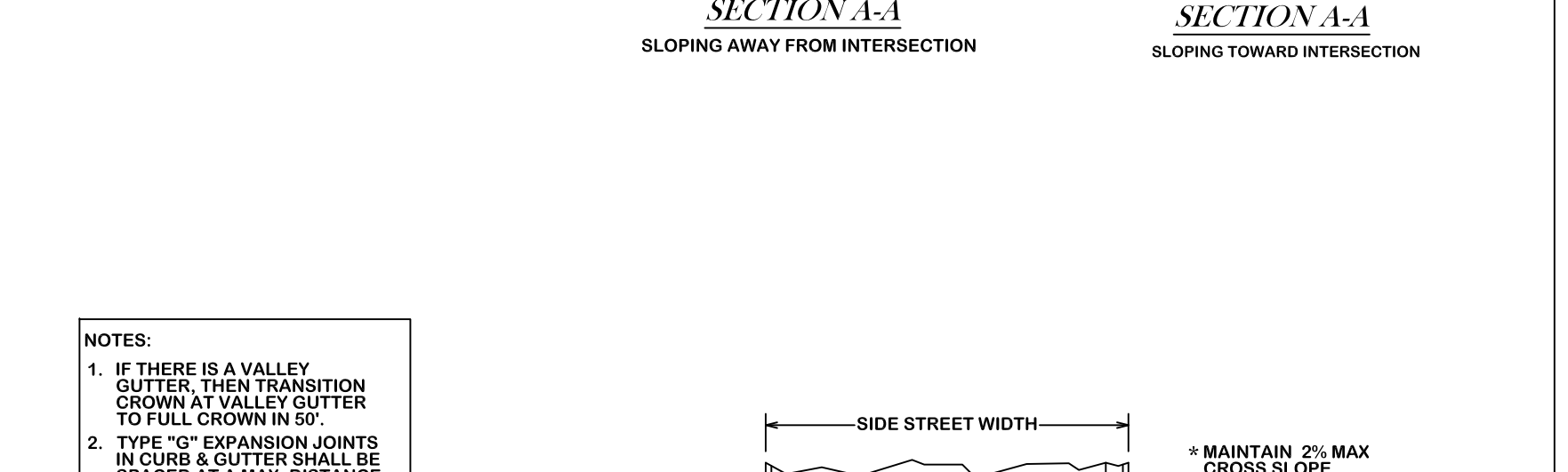
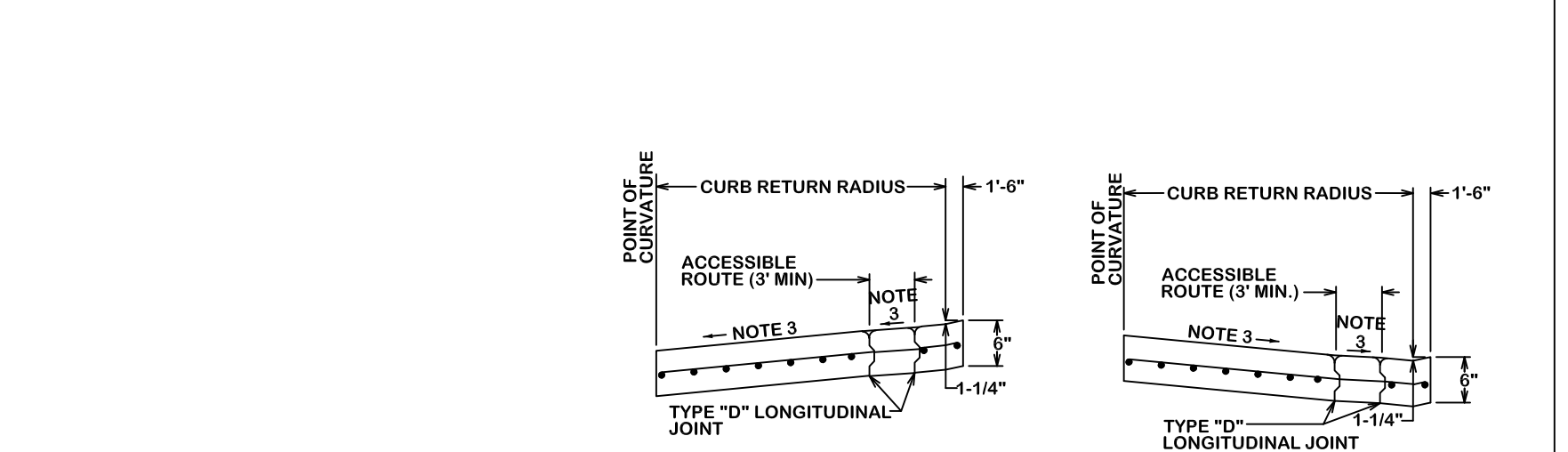
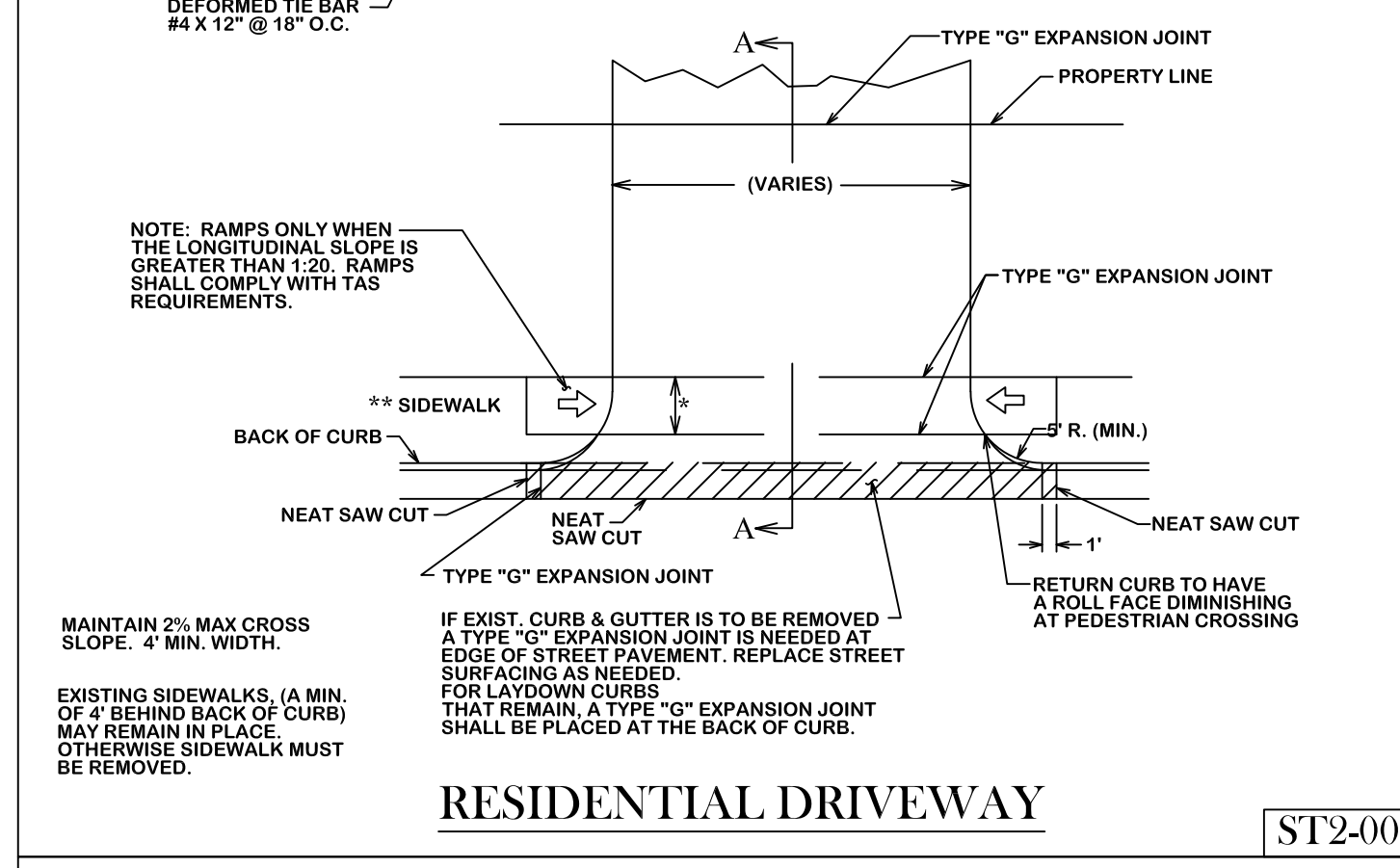
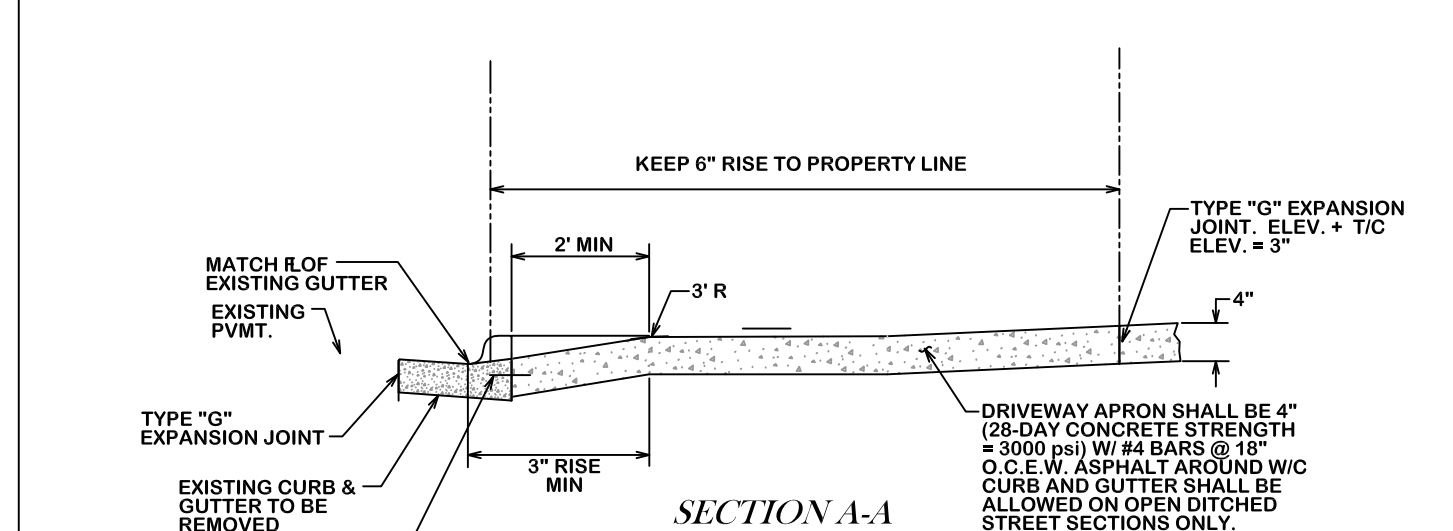
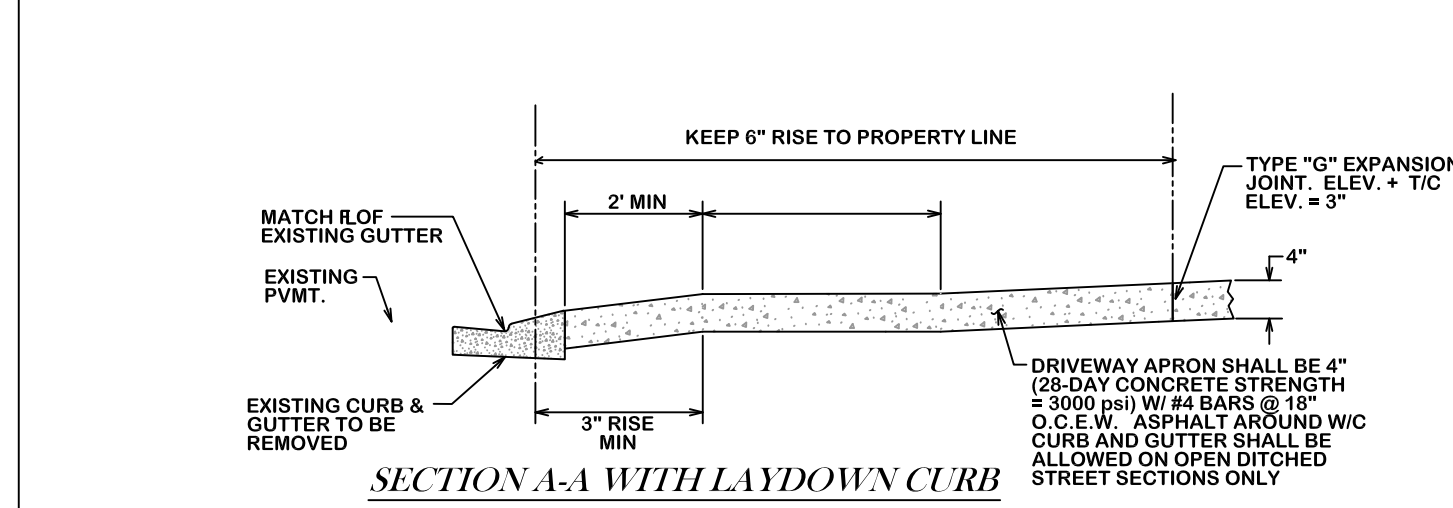
ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ABOLUTELY BLOCK SODED OR HYDROLOCKED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEED OR SODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATION GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

ALL TRAFFIC SIGNALS AND APPURTENANCES, AND ALL PAVEMENT MARKINGS AND MARKERS SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.

REFER TO SPEC 31 11 23.23 (PAVEMENT MARKINGS) FOR ADDITIONAL LOCAL REQUIREMENTS.



BRYAN - COLLEGE STATION STANDARD STREET DETAILS

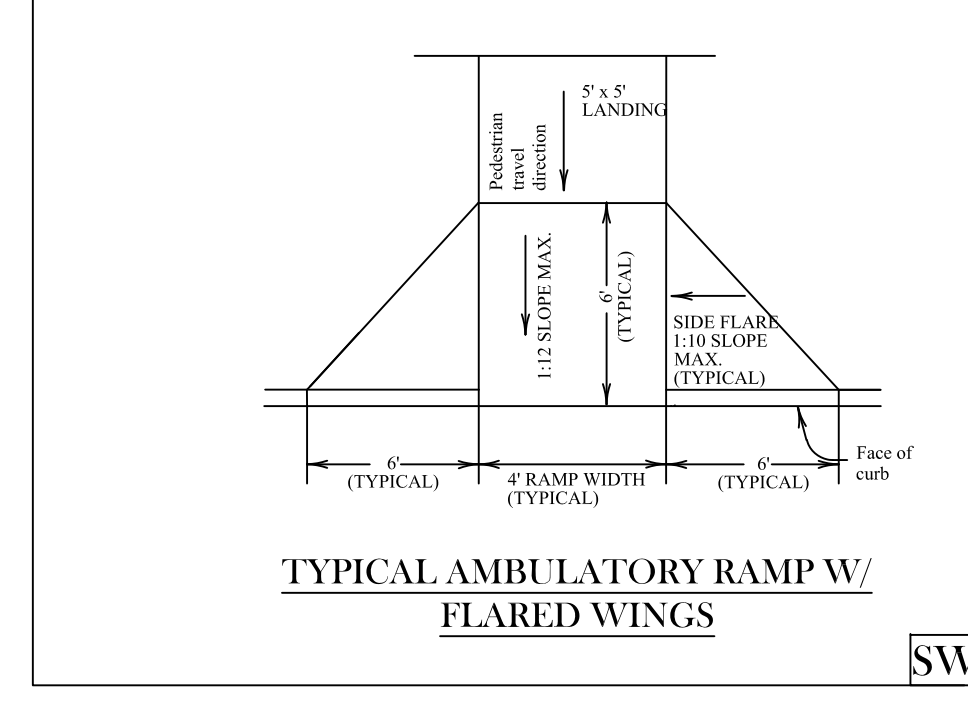
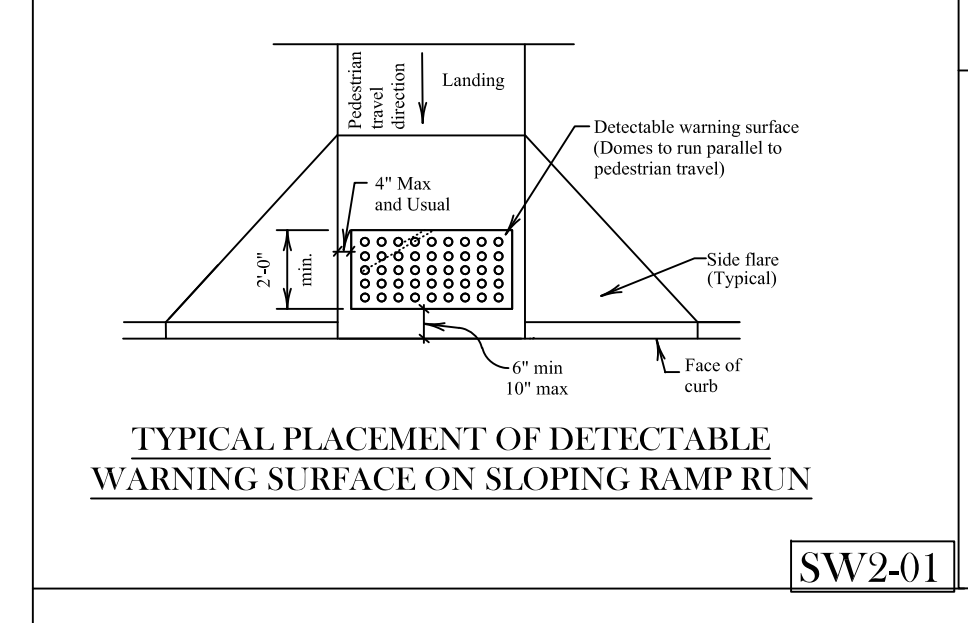
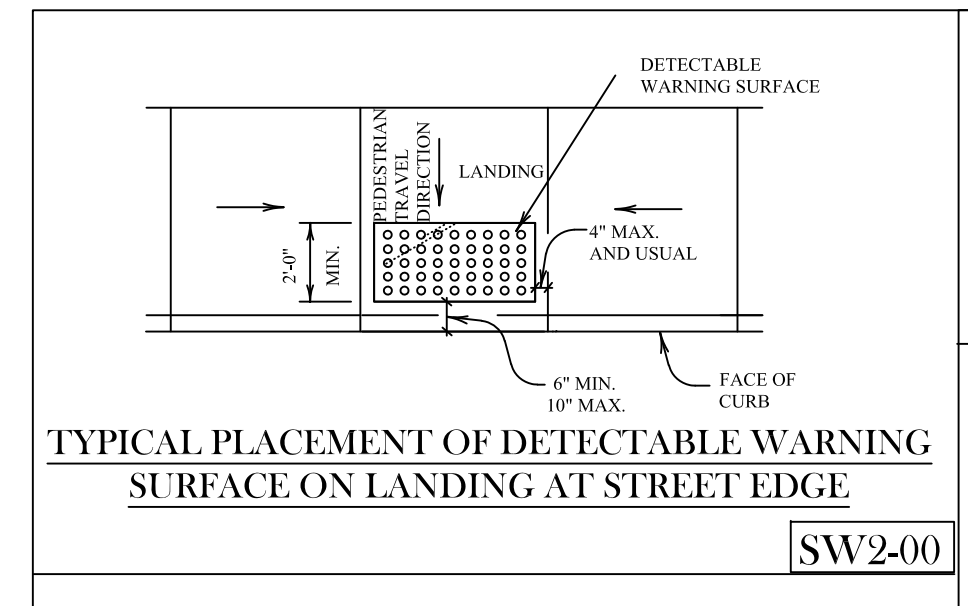
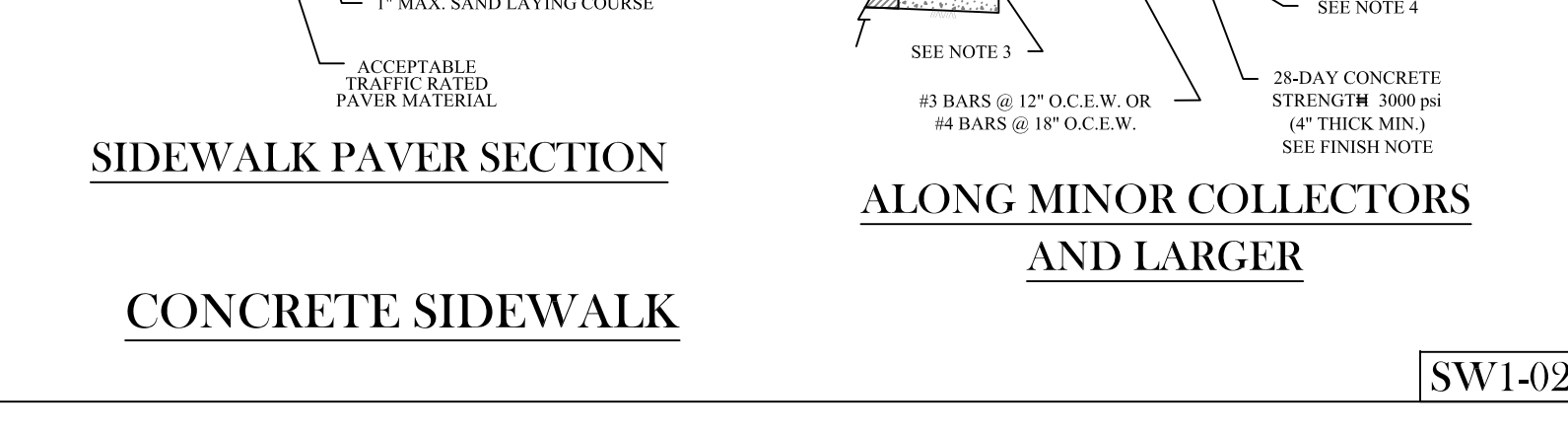
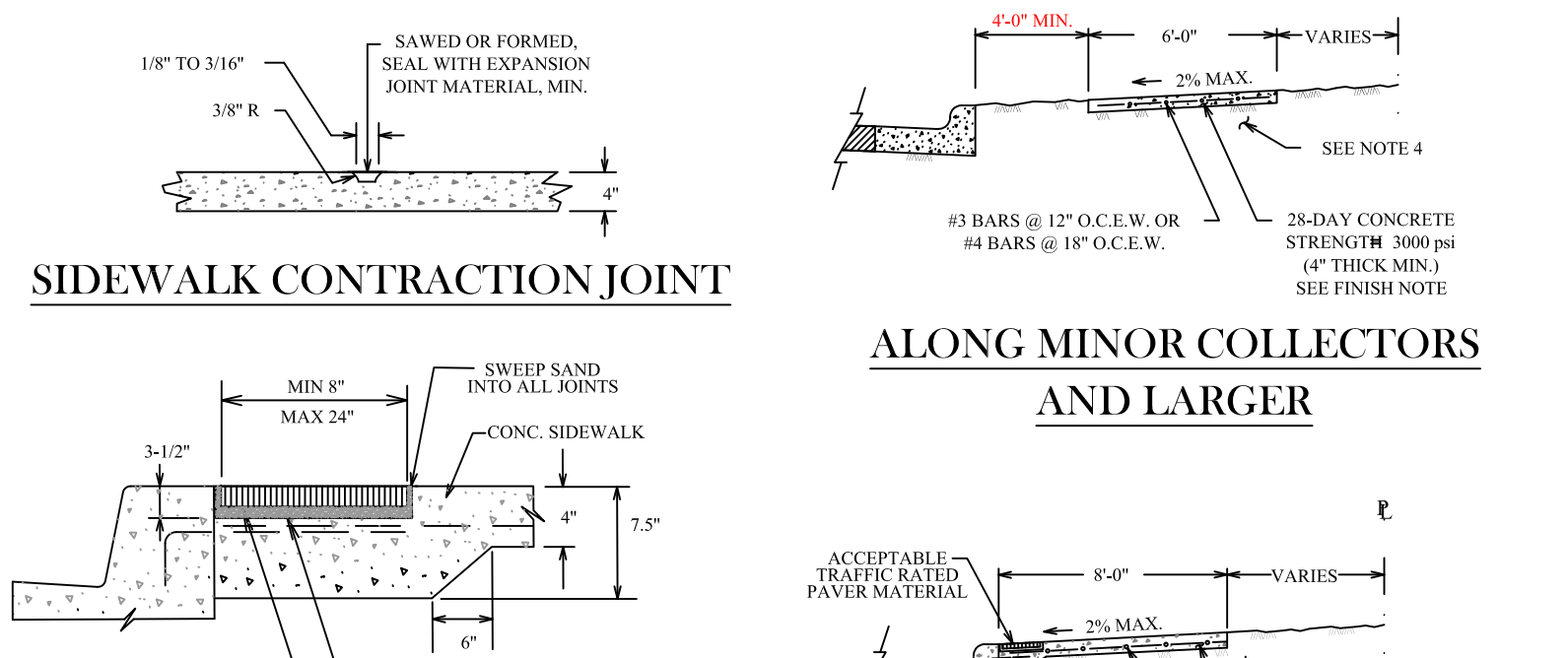
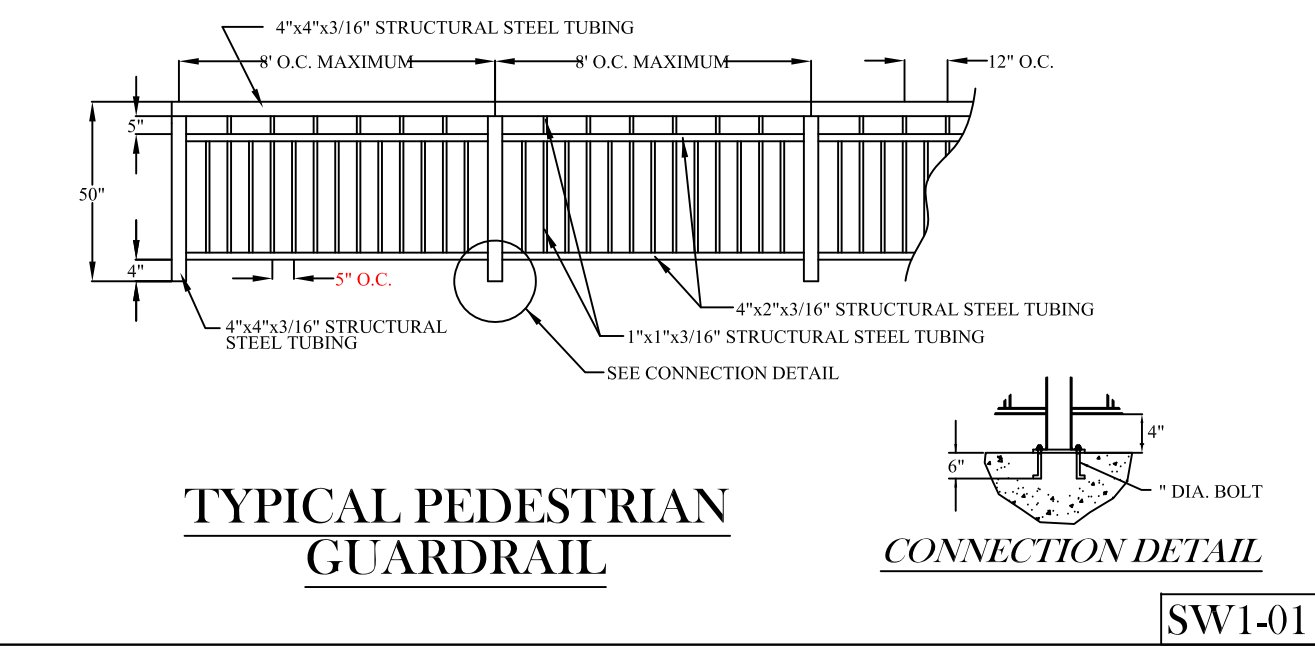
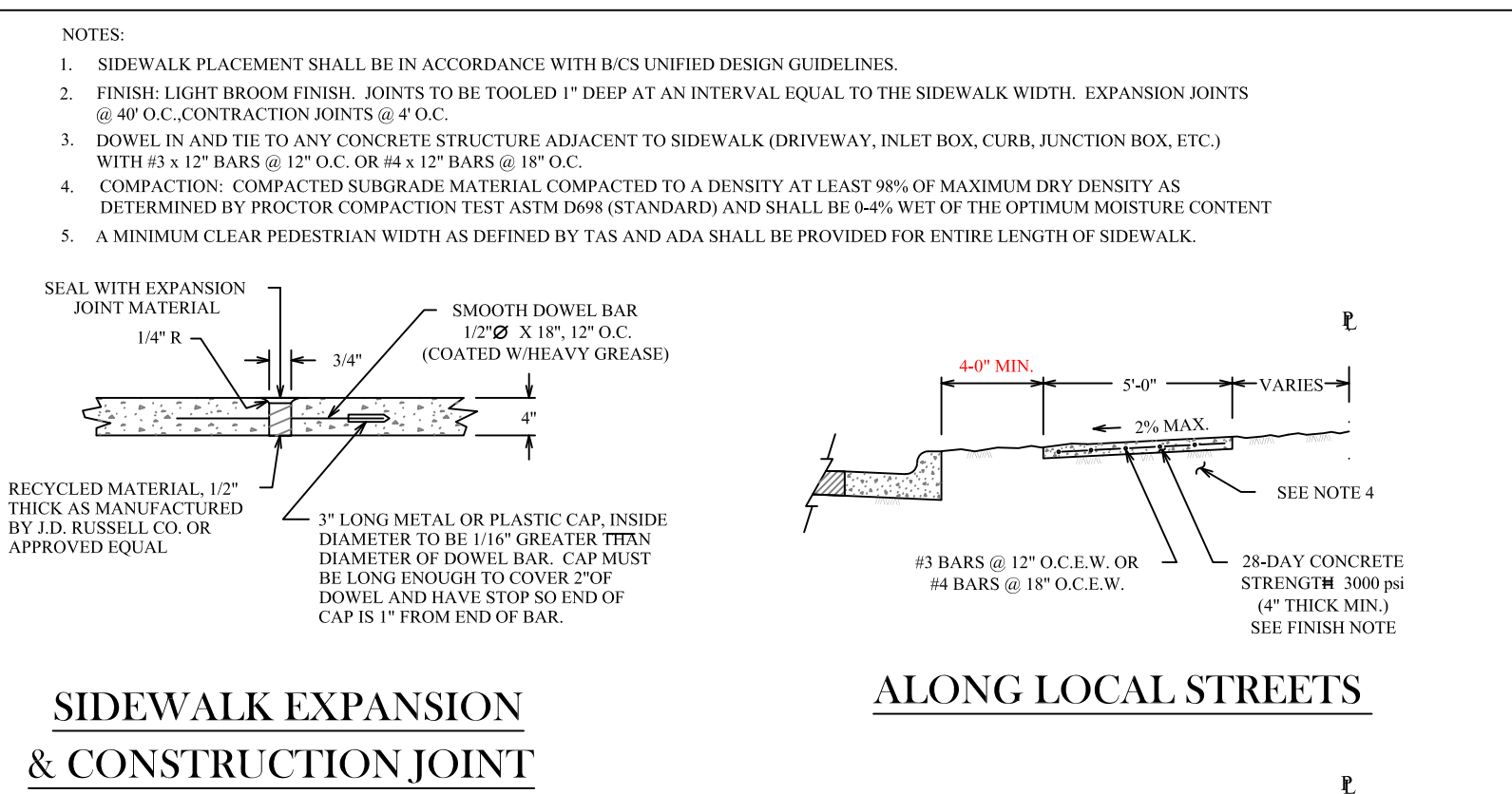
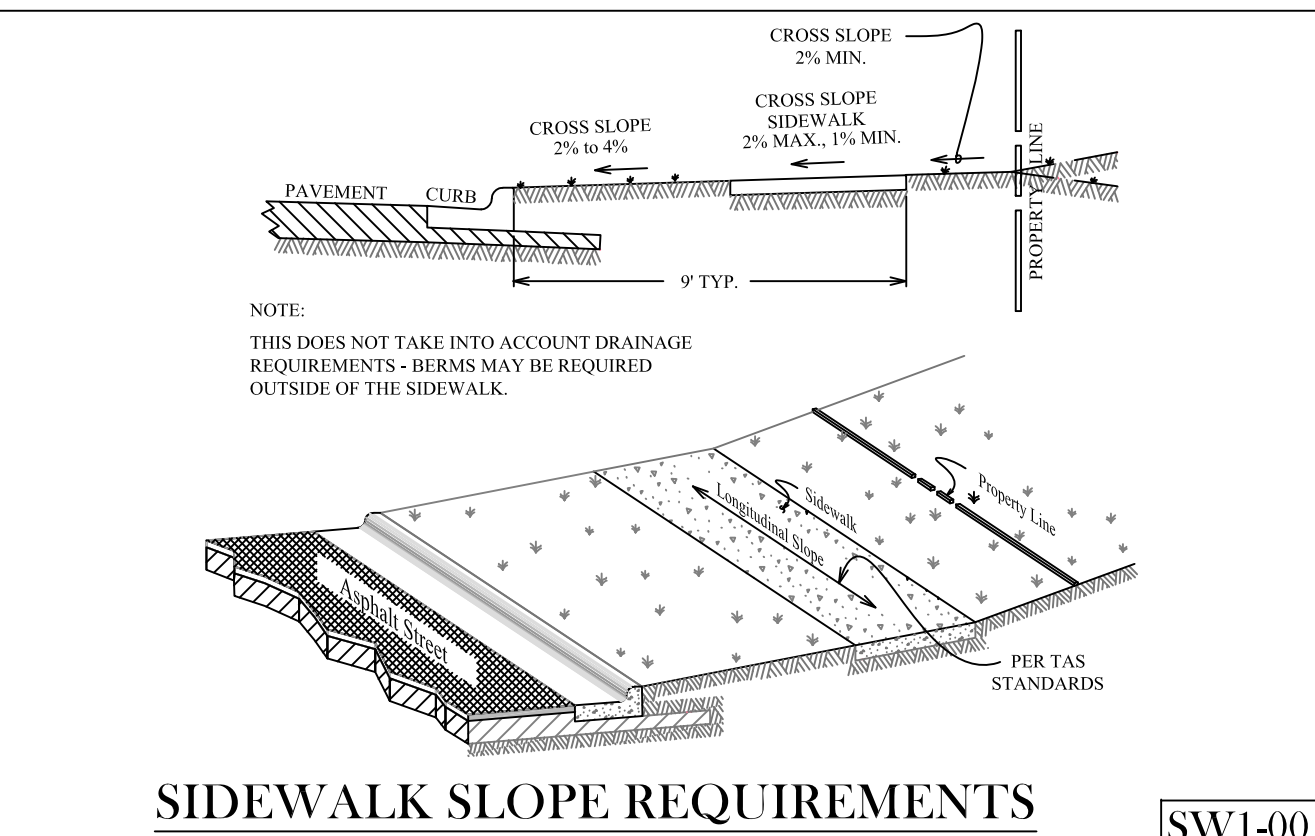
CITY OF COLLEGE STATION

CITY OF BRYAN
The Good Life, Texas Style.

REVISIONS:

DRAWN BY: B.I.
DATE: 12/2020
SCALE: N.T.S.
APPROVED: W.P.K.

FIGURE:
ST1
SHEET 1 OF 2



DETECTABLE WARNINGS GENERAL NOTES

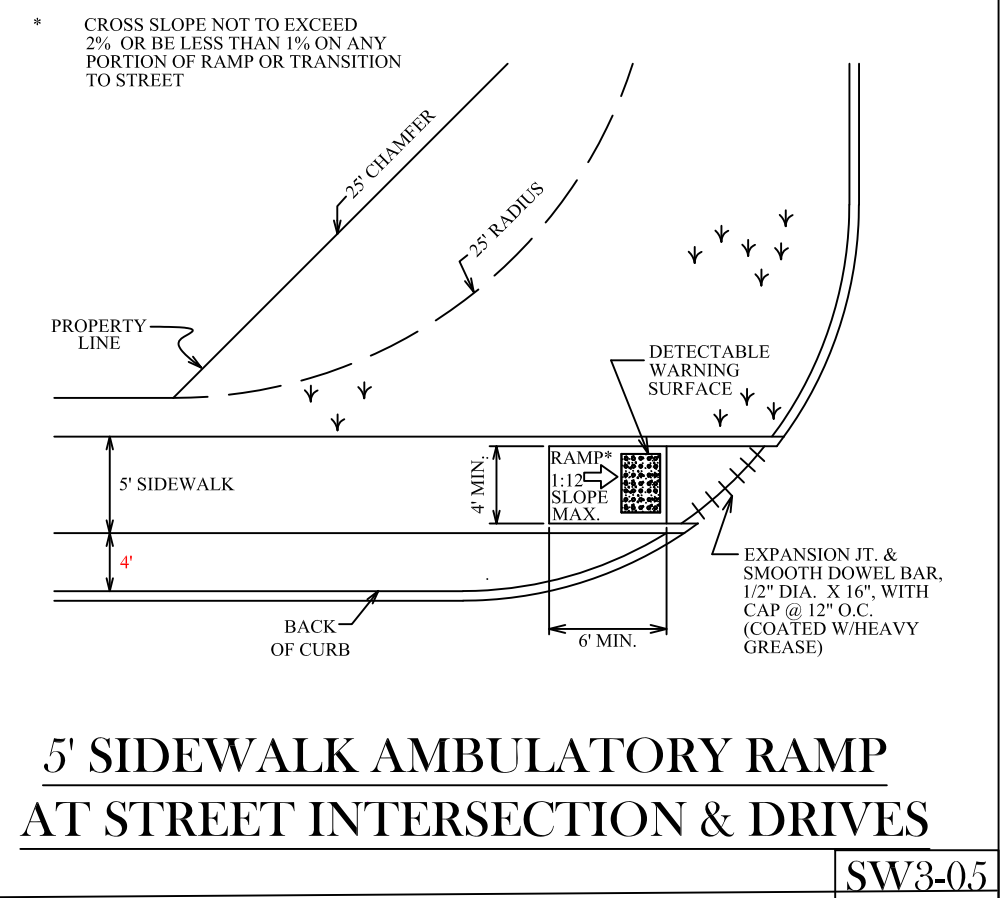
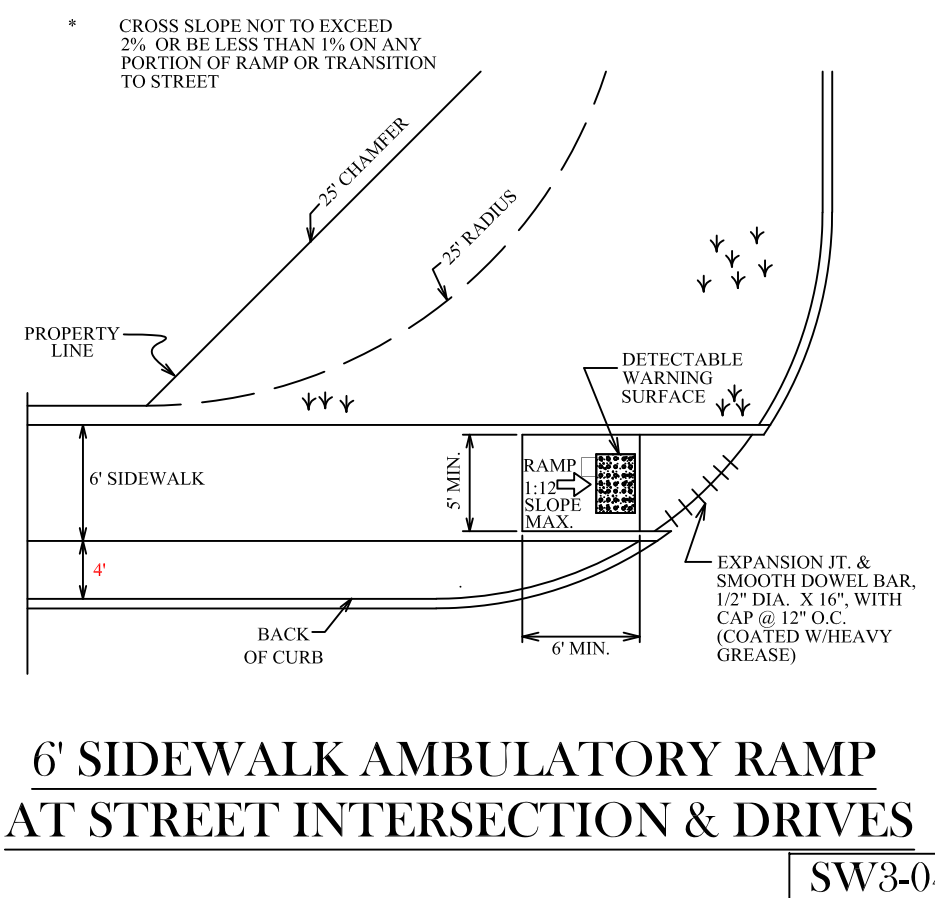
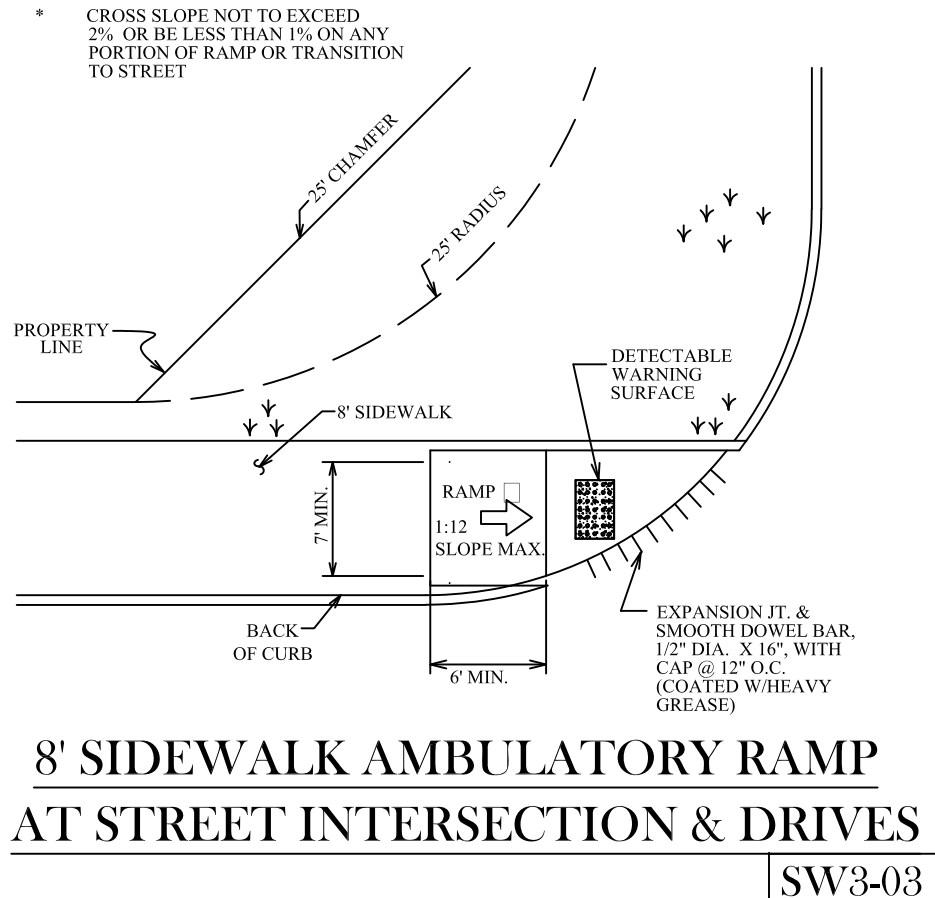
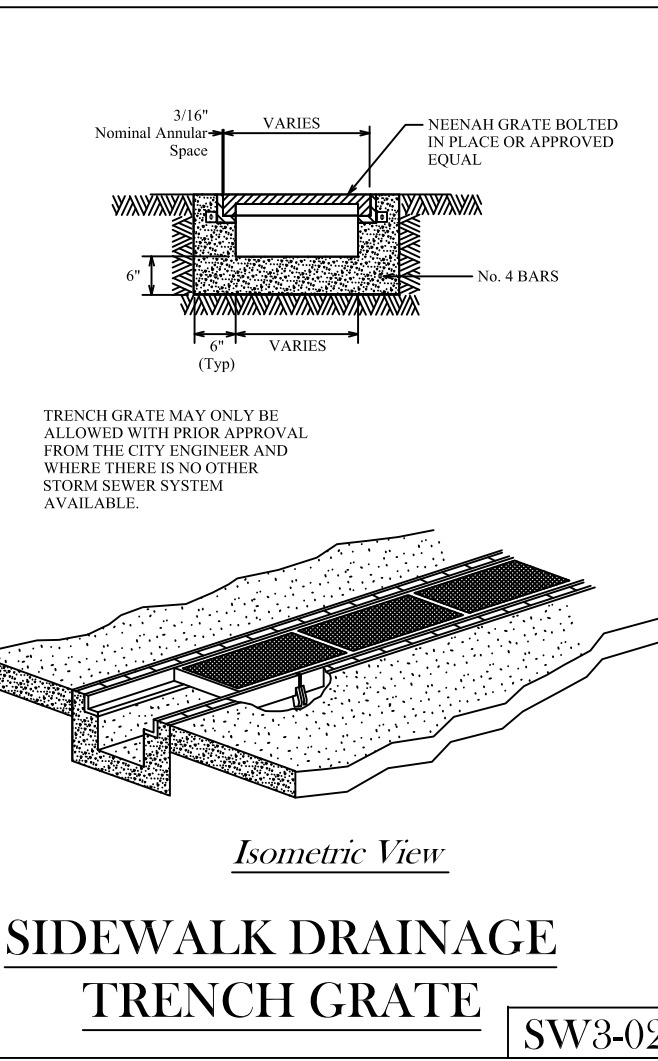
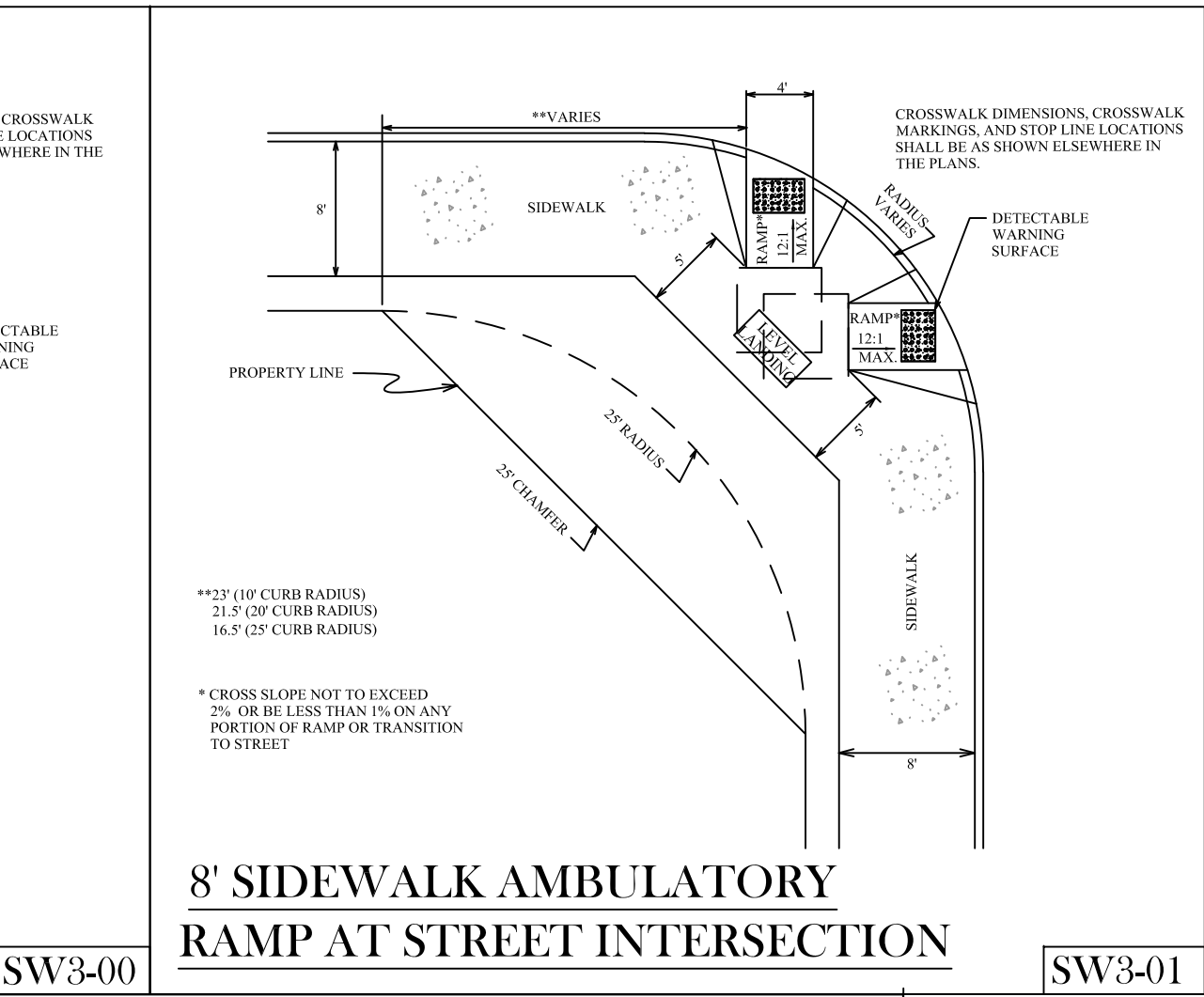
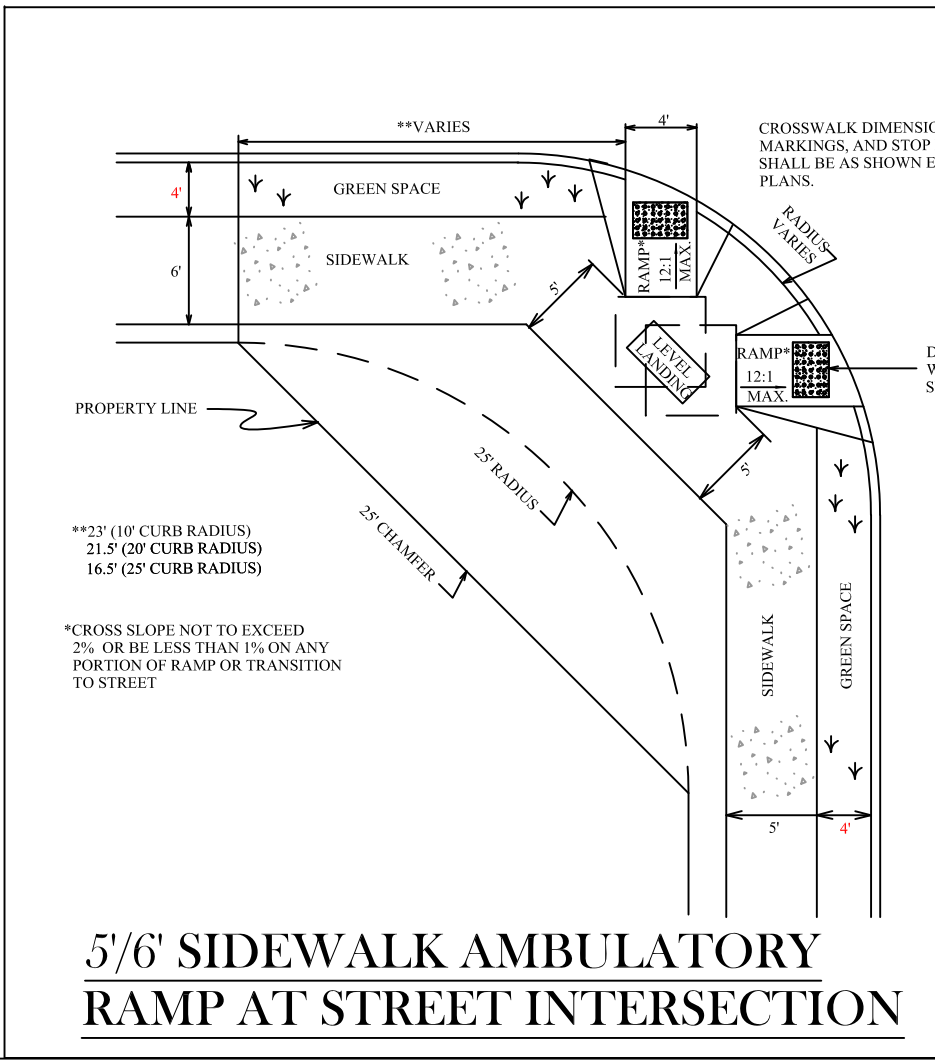
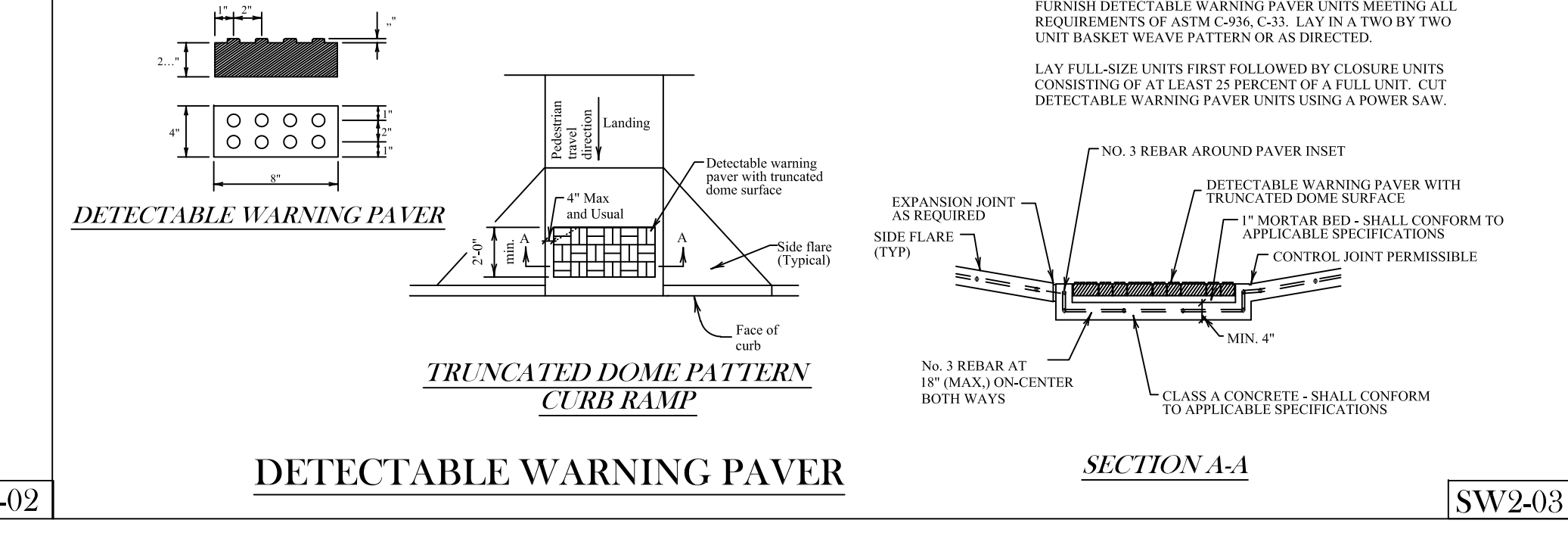
- CURB RAMPS MUST CONTAIN A DETECTABLE WARNING SURFACE THAT CONSISTS OF RAISED TRUNCATED DOMES COMPLYING WITH SECTION 4-29 OF THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE SURFACE MUST CONTRAST VISUALLY WITH ADJACENT SURFACES, INCLUDING SIDE FLARES. FINISH DARK BROWN OR DARK RED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
- DETECTABLE WARNING SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
- ALIGN TRUNCATED DOMES IN THE DIRECTION OF PEDESTRIAN TRAVEL WHEN ENTERING THE STREET.
- SHADED AREAS ON SHEETS 3 AND 4 INDICATE THE APPROXIMATE LOCATION FOR THE DETECTABLE WARNING SURFACE FOR EACH CURB RAMP TYPE.
- DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 2' IN HEIGHT IN THE DIRECTION OF PEDESTRIAN TRAVEL, AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET.
- DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS A MINIMUM OF 6\"/>

CROSSWALKS GENERAL NOTES

- CROSSWALK MARKINGS ARE IMPORTANT TRAFFIC CONTROL DEVICES AT CONTROLLED INTERSECTIONS. THESE DEVICES IDENTIFY THE APPROPRIATE LOCATION FOR PEDESTRIANS TO CROSS THE INTERSECTION AS WELL AS INFORMING DRIVERS WHERE PEDESTRIANS MAY BE PRESENT. NOT ALL LOCATIONS NEED THE CROSSWALKS MARKED. HOWEVER, TYPICALLY COLLECTOR AND ARTERIAL STREETS DO, AS STATED IN THE TMDCD. AN ENGINEERING STUDY SHOULD BE PERFORMED BEFORE CROSSWALKS ARE INSTALLED AT LOCATIONS OTHER THAN CONTROLLED INTERSECTIONS.
- THE CITY OF BRYAN'S PREFERENCE FOR MARKING CROSSWALKS IS THE LONGITUDINAL OR "LADDER" STYLE. THE CITY OF COLLEGE STATIONS PREFERENCE IS THE TYPICAL "TRANSVERSE" STYLE. HOWEVER, IN THE NORTHEAST AREA, ADJACENT TO SCHOOL OR SCHOOL ZONES, AND OTHER HIGH PEDESTRIAN CROSSINGS, THE LONGITUDINAL OR "LADDER" STYLE IS PREFERRED. DEVIATION FROM THESE PREFERENCES WILL BE ALLOWED ONLY WITH THE APPROVAL OF THE CITY ENGINEER.
- THE LONGITUDINAL "LADDER" STYLE MARKING SHALL BE 24\"/>

PEDESTRIAN FACILITIES GENERAL NOTES

- ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL BE USED PROPERLY SHOULD BE USED. ADJUST CURB RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS AS DIRECTED.
- LANDINGS SHALL BE A 5' X 5' MINIMUM WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION.
- MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A MINIMUM OF 4' X 4' WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL PATH.
- MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP IS 2%.
- CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP, EITHER BECAUSE THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR BECAUSE THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED. OTHERWISE, PROVIDE FLARED SIDES.
- ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) AND 16-TAC 46-16.
- TO SERVE AS A PEDESTRIAN REFUGE AREA, THE MEDIAN SHOULD BE A MINIMUM OF 3' WIDE. MEDIANS SHOULD BE DESIGNED TO PROVIDE ACCESSIBLE PASSAGE OVER OR THROUGH THEM.
- CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP BAR LOCATIONS SHALL BE AS SHOWN ELSEWHERE IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ARE NOT REQUIRED, CURB RAMPS SHALL BE ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE ENGINEER.
- EXISTING FEATURES THAT COMPLY WITH TAS MAY REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS.
- HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. PROVIDE CURB RAMPS WHEREVER ON ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
- SEPARATE CURB RAMP AND LANDINGS FROM ADJACENT SIDEWALK AND ANY OTHER ELEMENTS WITH PREMOLD OR BOARD JOINT OF 3/4\"/>



REVISIONS:									
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SW2-GN00

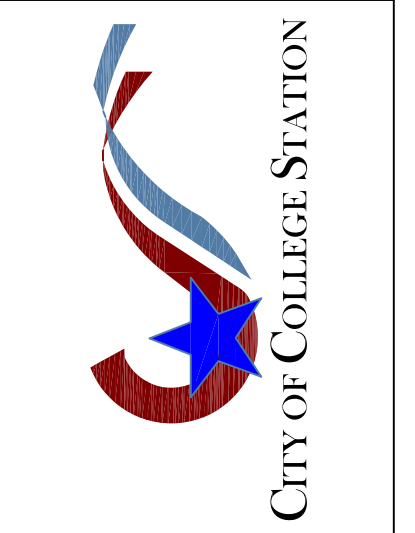
SW2-GN01

SW2-GN02

SW2-GN03

BRYAN - COLLEGE STATION

STANDARD SIDEWALK DETAILS



DRAWN BY: B.I.

DATE: 12/2020

SCALE: N.T.S.

APPROVED: W.P.K.

FIGURE:
SW1

SHEET 1 OF 1